

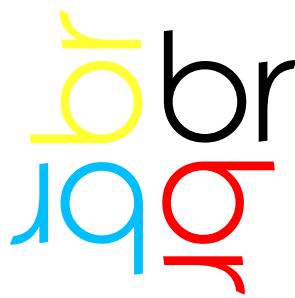
PROPOSED
RESIDENTIAL CARE FACILITY
SUMMITCARE MONTEREY

119 Barton Street, Monterey, N.S.W - 2217

For :



DEVELOPMENT APPLICATION RE-ISSUE
08 NOVEMBER 2021



boffa robertson group
Architecture, Health Planning
Suite 7 EPICA, 9 Railway Street,
CHATSWOOD, NSW 2067
Tel : (02) 9406 7000.

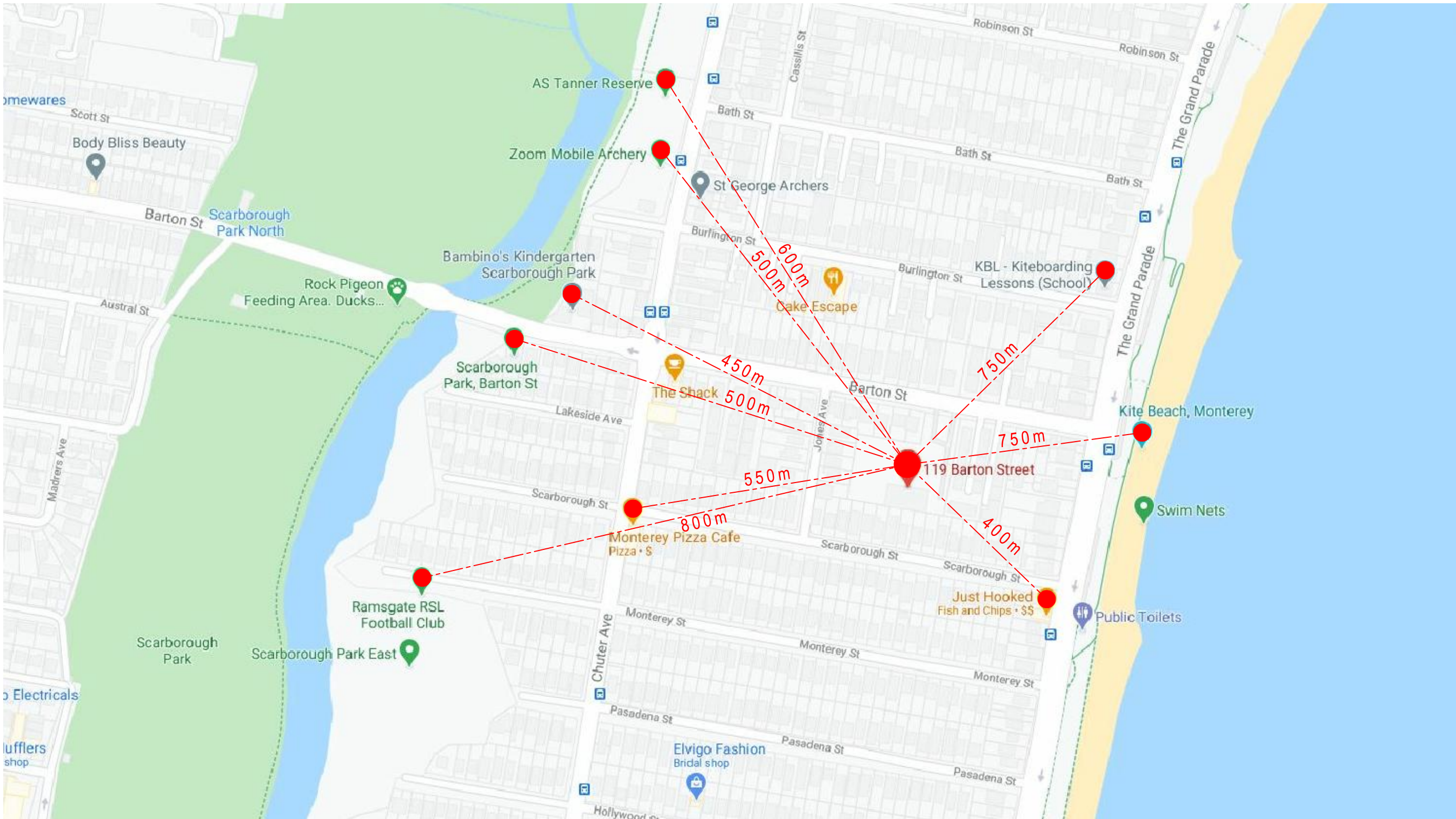
CENTURION GROUP
YOUR TRUSTED ADVISOR
Level 25, 88 Phillip Street,
Sydney, N.S.W - 2060
Tel : (02) 9256 2560

A1 - DRAWINGS

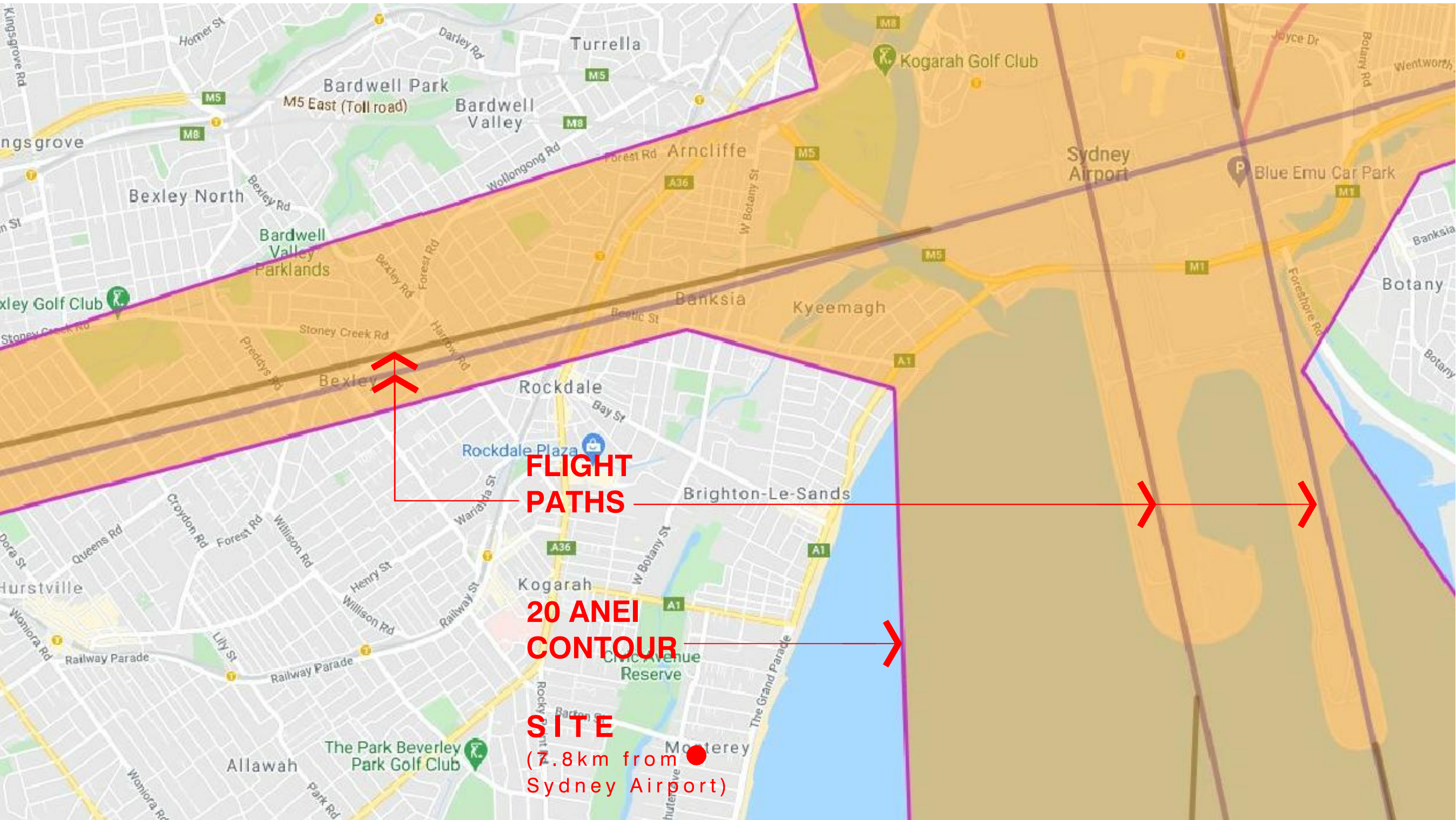
STATUS	DWG NO.	DRAWING TITLE	SCALE	SIZE
AMENDED	2014/DA00	COVER PAGE, DRAWING LIST	N.T.S	A1
	2014/DA01	SITE ANALYSIS - LOCALITY PLAN	N.T.S	A1
AMENDED	2014/DA02	SITE ANALYSIS PLAN	N.T.S	A1
AMENDED	2014/DA03	SITE PLAN	1:200	A1
AMENDED	2014/DA03a	LANDSCAPING ZONE AREAS	1:200	A1
AMENDED	2014/DA03b	LANDSCAPE DEEP SOIL AREAS	1:200	A1
AMENDED	2014/DA03c	GROUND FLOOR PLAN - PLANNING CONSIDERATIONS	1:200	A1
AMENDED	2014/DA04	BASEMENT FLOOR PLAN	1:200	A1
AMENDED	2014/DA05	GROUND FLOOR PLAN	1:200	A1
AMENDED	2014/DA06	FIRST FLOOR PLAN	1:200	A1
AMENDED	2014/DA07	SECOND FLOOR PLAN	1:200	A1
AMENDED	2014/DA08	ROOF PLAN	1:200	A1
AMENDED	2014/DA09	ELEVATIONS	1:200	A1
AMENDED	2014/DA10	ELEVATIONS	1:200	A1
AMENDED	2014/DA11	SECTIONS	1:200	A1
AMENDED	2014/DA12	STREET ELEVATIONS - MONTAGE	N.T.S	A1
AMENDED	2014/DA13	SHADOW DIAGRAMS - EQUINOX 1	N.T.S	A1
AMENDED	2014/DA14	SHADOW DIAGRAMS - EQUINOX 2	N.T.S	A1
AMENDED	2014/DA14a	SHADOW DIAGRAMS - WINTER 1	N.T.S	A1
AMENDED	2014/DA14b	SHADOW DIAGRAMS - WINTER 2	N.T.S	A1
AMENDED	2014/DA14c	DIRECT SUN ANALYSIS DIAGRAM - 21 JUNE 9AM	N.T.S	A1
AMENDED	2014/DA14d	DIRECT SUN ANALYSIS DIAGRAM - 21 JUNE 10AM	N.T.S	A1
AMENDED	2014/DA14e	DIRECT SUN ANALYSIS DIAGRAM - 21 JUNE 11AM	N.T.S	A1
AMENDED	2014/DA14f	DIRECT SUN ANALYSIS DIAGRAM - 21 JUNE 12PM	N.T.S	A1
AMENDED	2014/DA14g	DIRECT SUN ANALYSIS DIAGRAM - 21 JUNE 1PM	N.T.S	A1
AMENDED	2014/DA14h	DIRECT SUN ANALYSIS DIAGRAM - 21 JUNE 2PM	N.T.S	A1
AMENDED	2014/DA14i	DIRECT SUN ANALYSIS DIAGRAM - 21 JUNE 3PM	N.T.S	A1
	2014/DA15	SHADOW DIAGRAMS - ELEVATION TO ADJOINING RESIDENCE	1:500	A1
AMENDED	2014/DA15a	VIEW ANALYSIS - VIEW 1	N.T.S	A1
AMENDED	2014/DA15b	VIEW ANALYSIS - VIEW 2	N.T.S	A1
AMENDED	2014/DA15c	VIEW ANALYSIS - VIEW 3	N.T.S	A1
AMENDED	2014/DA16	3D IMAGE SHOWING BUILT FORM PENETRATING 8m CEILING HEIGHT	N.T.S	A1
	2014/DA17	DEMOLITION PLAN	1:200	A1
AMENDED	2014/DA18	GROSS FLOOR AREA PLANS	1:500	A1
AMENDED	2014/DA18a	8m CEILING HEIGHT CONTROL PLAN	1:200	A1

A3 - DRAWINGS

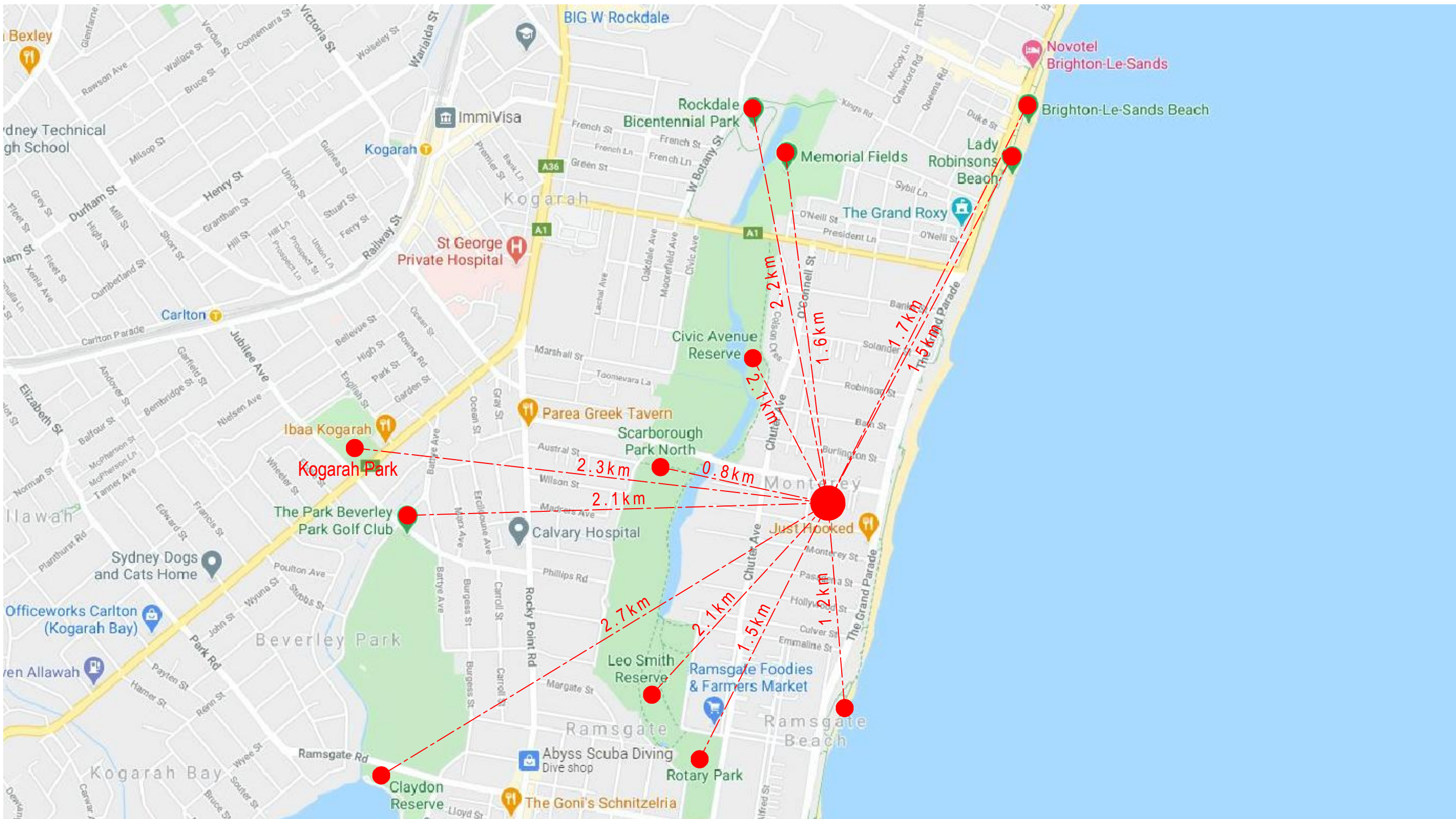
	DWG NO.	DRAWING TITLE	SCALE	SIZE
AMENDED	2024/DA00	COVER PAGE, DRAWING LIST	N.T.S	A3
AMENDED	2024/DA21	PERPECTIVE VIEW 1	N.T.S	A3
AMENDED	2024/DA22	PERPECTIVE VIEW 2	N.T.S	A3
AMENDED	2024/DA23	PERPECTIVE VIEW 3	N.T.S	A3
AMENDED	2024/DA24	PERPECTIVE VIEW 4	N.T.S	A3
	2024/DA25	EXTERIOR FINISHES SCHEDULE AND MATERIALS BOARD 1	N.T.S	A3
	2024/DA26	EXTERIOR FINISHES SCHEDULE AND MATERIALS BOARD 2	N.T.S	A3
	2024/DA27	1 BEDROOM - TYPE 1 & 2	1:50	A3
	2024/DA28	1 BEDROOM - TYPE 3 & 4	1:50	A3
	2024/DA29	2 BEDROOM - TYPE 1 & 2	1:50	A3
AMENDED	2024/NP-01	SITE PLAN	1:500	A3
AMENDED	2024/NP-02	ELEVATIONS	1:500	A3



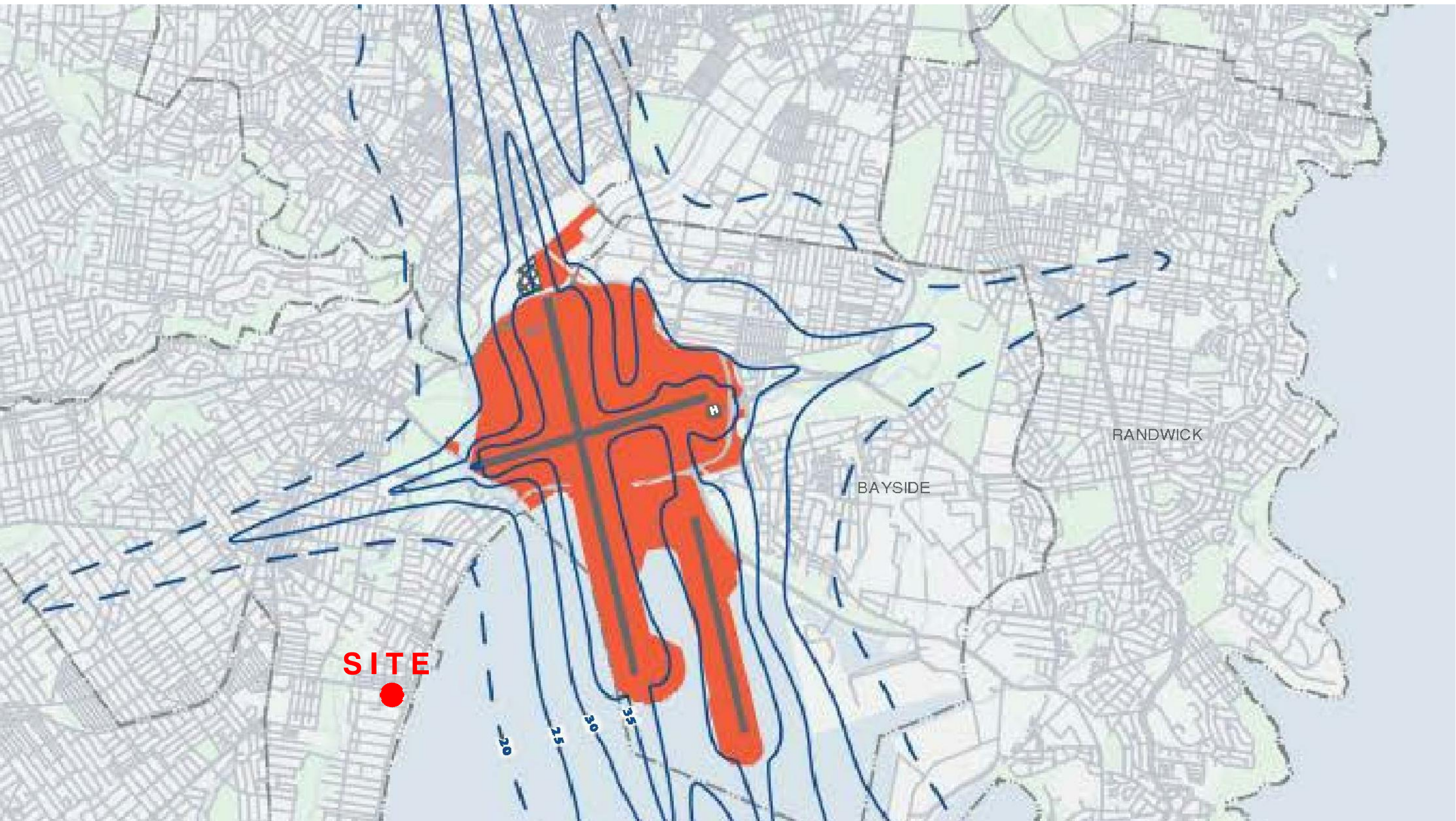
DIRECTIONS & DISTANCES TO LOCAL FACILITY PLAN



FLIGHT PATH PLAN



PUBLIC OPEN SPACE PLAN



AUSTRALIAN NOISE EXPOSURE FORECAST

B	Development Application Re-Issue	25.08.2021
A	Development Application Issue	09.12.2020
No.	Amendment	Date

Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
SITE ANALYSIS - LOCALITY PLAN

CENTURION GROUP

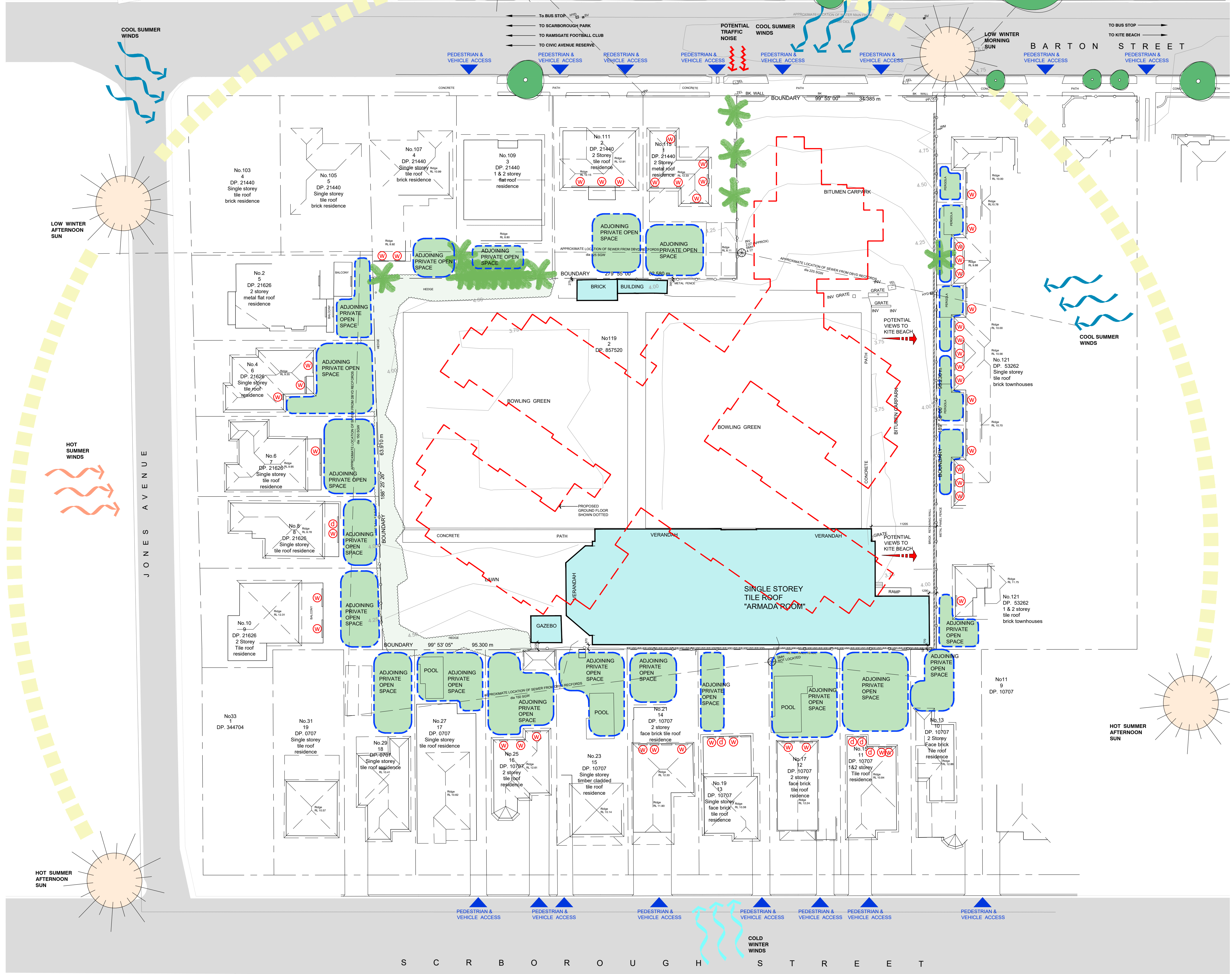
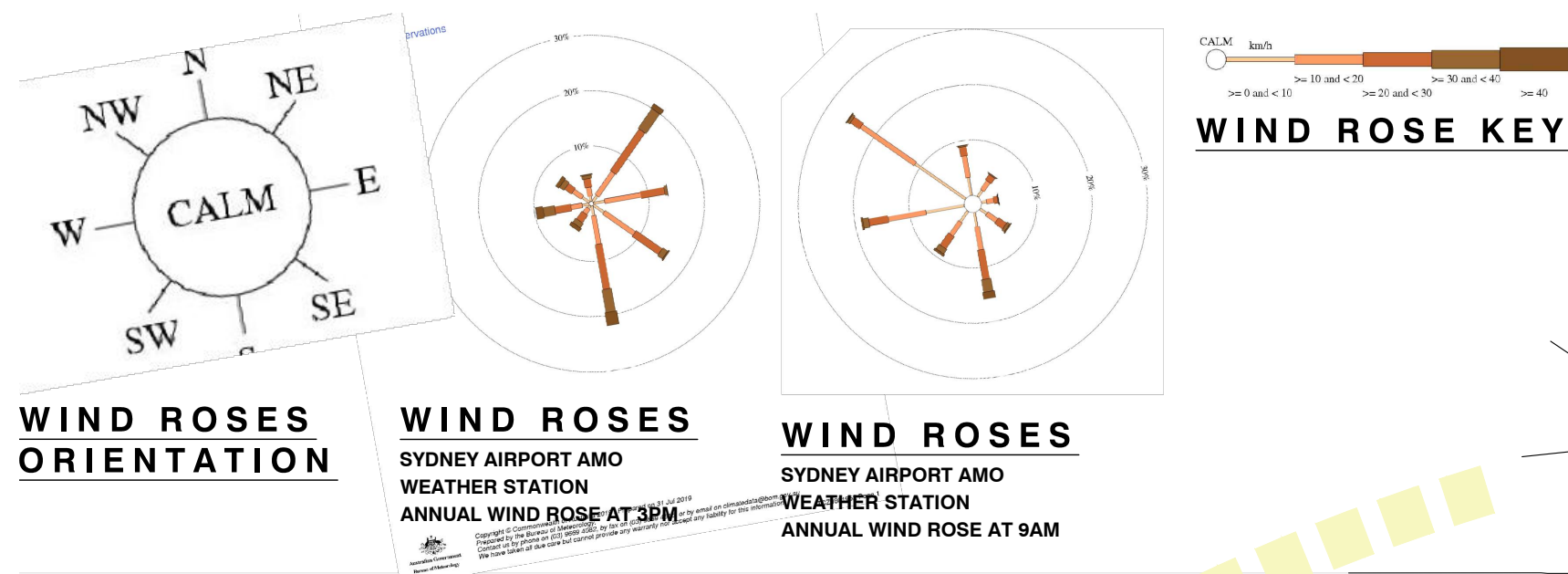
YOUR TRUSTED ADVISOR

SUMMITCARE
BETWEEN. WORTH. WELLBEING.

boffa robertson group
architecture, health and aged care planning, project management

boffa robertson group
Suite 7, Level 1, Epica, 9 Railway Street
Cherrywood NSW 2067
AUSTRALIA
Tel: (02) 9406 7000
Fax: (02) 9406 7009
Email: brgroup@brgr.net

Date	SEPT 2020	Job No.	: Drawing
Scale	NTS		
Drawn	JN	2014 /	DA01
Amendment	B		



LOCALITY PLAN
NOT TO SCALE

SEPP PART 3 - DESIGN REQUIREMENTS	REFER TO
Division 1 General	
30. Site analysis	
1. A consent authority must not consent to a development application made pursuant to this Chapter unless the consent authority is satisfied that the applicant has taken into account a site analysis prepared by the applicant in accordance with this clause.	This drawing
2. A site analysis must:	
A. Contain information about the site and its surrounds as described in subclauses (3) and (4), and	Please refer below
B. Be accompanied by a written statement (supported by plans including drawings of sections and elevations and, in the case of proposed development on land adjoining land zoned primarily for urban purposes, an aerial photograph of the site)	Design Statement
C. Explain how the design of the proposed development has regard to the site analysis, and	Design Statement
D. Explain how the design of the proposed development has regard to the design principles set out in Division 2	Design Statement
3. The following information about a site is to be identified in a site analysis:	
A. Site dimensions:	
• Length	Survey Plans
• Width	Survey Plans
B. Topography:	
• spot levels and/or contour	Survey Plans
• north point	All Plans
• natural drainage	Civil Drawings
• any contaminated soils or filled areas	Site Investigation Report
C. Services:	
• easements	N/A
• connections for drainage and utility services	Civil Drawings
D. Existing vegetation:	
• location	Survey Plans
• height	Survey Plans
• spread of established trees	Survey Plans
• species	Arborist Report
E. Micro climates:	
• orientation	This drawing
• prevailing winds	This drawing
F. Location of:	
• buildings and other structures	This drawing and DA03 - Site Plan
• heritage features and items including archaeology	This drawing, DA03 - Site Plan & DA05 - Ground Floor Plan
• fences	All plans
• property boundaries	All plans
• pedestrian and vehicle access	This drawing
G. Views to and from the site	DA12 - Street elevation & Perspectives
H. Overshadowing by neighbouring structures	DA13/DA14/DA15 - Shadow Diagrams
4. The following information about the surrounds of a site is to be identified in a site analysis:	
A. Neighbouring buildings:	
• location	Survey Plans
• height	Survey Plans
• use	Survey Plans
• balconies on adjacent properties	Survey Plans
• pedestrian and vehicle access to adjacent properties	Survey Plans
B. Privacy:	
• adjoining private open spaces	Survey Plans
• living room windows overlooking site	Survey Plans
• location of any 'siting doors and/or windows	Survey Plans
C. Walls built to the site's boundary:	
• location	DA03 - Site Plan
• height	DA03 - Site Plan
• materials	DA03 - Site Plan
D. Difference in levels between the site and adjacent properties at their boundaries	Survey Plans
E. Views and solar access enjoyed by neighbouring properties	This drawing
F. Major trees on adjacent properties	Survey Plans
G. Street frontage features:	
• poles	Survey Plans
• trees	Survey Plans
• kerb crossovers	Survey Plans
• bus stops	Survey Plans
• other services	Survey Plans
H. The built form and character of adjacent development (including buildings opposite on both sides of the street(s) fronted):	
• architectural character	All plans
• front fencing	This drawing, DA03 - Site Plan, DA05 - Ground Floor Plan & DA12 - Street Elevations
• garden styles	Landscape
I. Heritage features of surrounding locality and landscape	Heritage Report
J. Direction and distance to local facilities:	
• local shops	DA01 - Site Analysis Locality Plan
• schools	DA01 - Site Analysis Locality Plan
• public transport	Traffic Report
• recreation and community facilities	DA01 - Site Analysis Locality Plan
K. Public open space:	
• location	DA01 - Site Analysis Locality Plan
• use	DA01 - Site Analysis Locality Plan
L. Adjoining bushland or environmentally sensitive land	N/A
M. Sources of nuisance:	
• flight paths	DA01 - Site Analysis Locality Plan
• noisy roads or significant noise sources	This drawing, DA01 - Site Analysis Locality Plan
• polluting operations	N/A
N. Adjoining land uses and activities (such as agricultural activities)	N/A

LEGEND

	OUTLINE OF EXISTING BUILDING
	BOUNDARY
	VIEWS
	PEDESTRIAN OR VEHICLE ACCESS
	PRIVATE OPEN SPACE
	EXISTING STREET TREES
	OCCASIONAL SUMMER BREEZES
	COOL SUMMER WINDS
	HOT SUMMER WINDS
	COLD WINTER WINDS
	TRAFFIC NOISE
	DOOR OF NEIGHBOURING BUILDINGS
	SLIDING DOOR OF NEIGHBOURING BUILDINGS
	WINDOW OF NEIGHBOURING BUILDINGS

NOTES:

1. REFER TO SURVEY DWGS FOR NEIGHBOURING PROPERTIES' WINDOWS AND DOORS' SILL AND HEAD HEIGHTS.

2. PLANT SPECIES REFER TO ARBORIST REPORT

Development Application Re-Issue 08.11.2021

Development Application Re-Issue 25.08.2021

Development Application Issue 09.12.2020

No. Amendment Date

Project

SUMMITCARE - MONTEREY

119 Barton Street, Monterey, N.S.W 2217

Drawing

SITE ANALYSIS PLAN

CENTURIUM GROUP

YOUR TRUSTED ADVISOR

SUMMITCARE

boffa robertson group

architecture, health and aged care planning, project management

boffa robertson group

Suite 7, Level 1, Epica, 9 Railway Street

Chadwood NSW 2067

AUSTRALIA

Tel: (02) 9406 7000

Fax: (02) 9406 7099

Email: brgroup@brgr.net

Date JULY 2021 Job No. : Drawing

Scale NTS

Drawn JN

2014 / DA02

Amendment C

BARTON STREET

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LEGEND	
	PROPOSED RCF
	BOUNDARY
	SOFT LANDSCAPE
	HARD LANDSCAPE
	+ ex RL.16.00 EXISTING LEVEL RL.
	+ [RL.16.00] NEW FINISHED LEVEL RL.
	+ [TOW RL.] PROPOSED TOP OF WALL LEVEL
	BASEMENT FLOOR
	FIRST FLOOR
	SECOND FLOOR
	PROPOSED ROADS AND DRIVEWAYS
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH + EXISTING FENCE
F2	1800H COLORBOND STEEL FENCING + EXISTING FENCE

NOTE:
- ALL EXISTING FENCING EXCEPT FOR BARTON STREET BOUNDARY TO REMAIN. NEW FENCING TO BE BUILT INSIDE THE BOUNDARY ADJACENT
- ALL INTERNAL FENCING: REFER TO LANDSCAPE ARCHITECT'S DRAWING

SOCIAL IMPACT RECOMMENDATION

Recommendation 1: Provide complying ramps at the signalled crossing of The Grand Parade at the south side of Barton Street.

Recommendation 2: Provide a complying ramp at the Queens Road entrance to the medical practice at 279 Bay Street.

Recommendation 3: Provide a complying ramp at the entrance to the Post Office.

PROPOSED RESIDENTIAL CARE FACILITY

- BASEMENT FL. RL. 0.00
- GROUND FL. RL. 4.50
- FIRST FL. RL. 7.90
- SECOND FL. RL. 11.30

0m 2 5 10 15m
SCALE: 1:200

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Project
SUMMITCARE - MONTEREY
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Drawing
SITE PLAN

CENTURION GROUP

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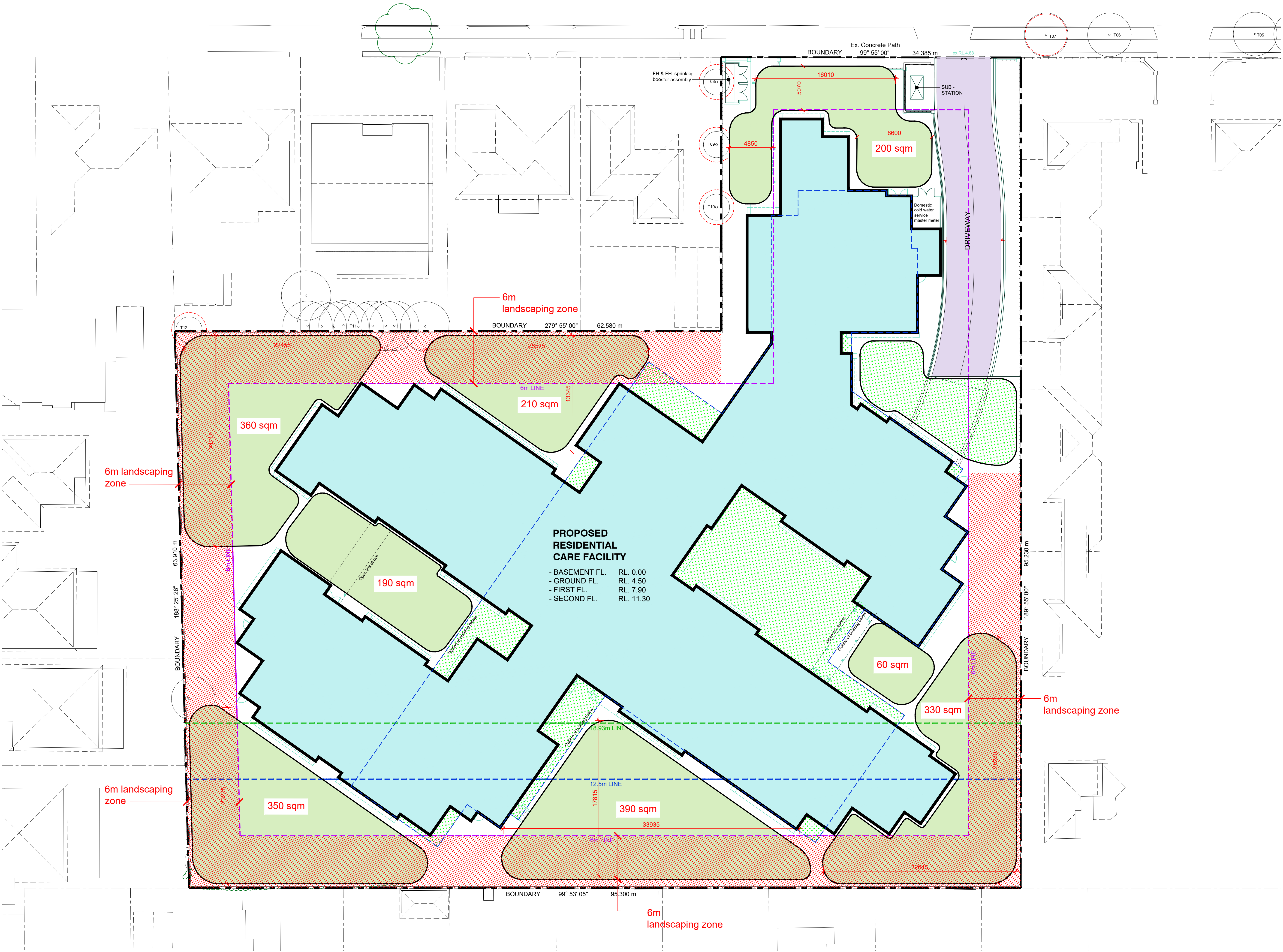
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boffa robertson group
architecture, health and aged care planning, project management

boffa robertson group
Suite 7, Level 1, Epica, 9 Railway Street
Cherrywood NSW 2067
AUSTRALIA
Tel: (02) 9406 7000
Fax: (02) 9406 7009
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Date	JULY 2021	Job No.	- Drawing
Scale	1:200 @ A1		
Drawn	SS		2014 / DA03
Amendment	C		

LEGEND	
	Proposed building
	Proposed driveway
	Proposed landscape
	Proposed landscape over basement / driveway
	6m landscaping zone
	Boundary
	3m landscaping line
	12.5m min. SEPP req.
	18.9m 25% area of site



0m 2 5 10 15m
SCALE: 1:200

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SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
LANDSCAPING ZONE AREAS

CENTURIUM GROUP
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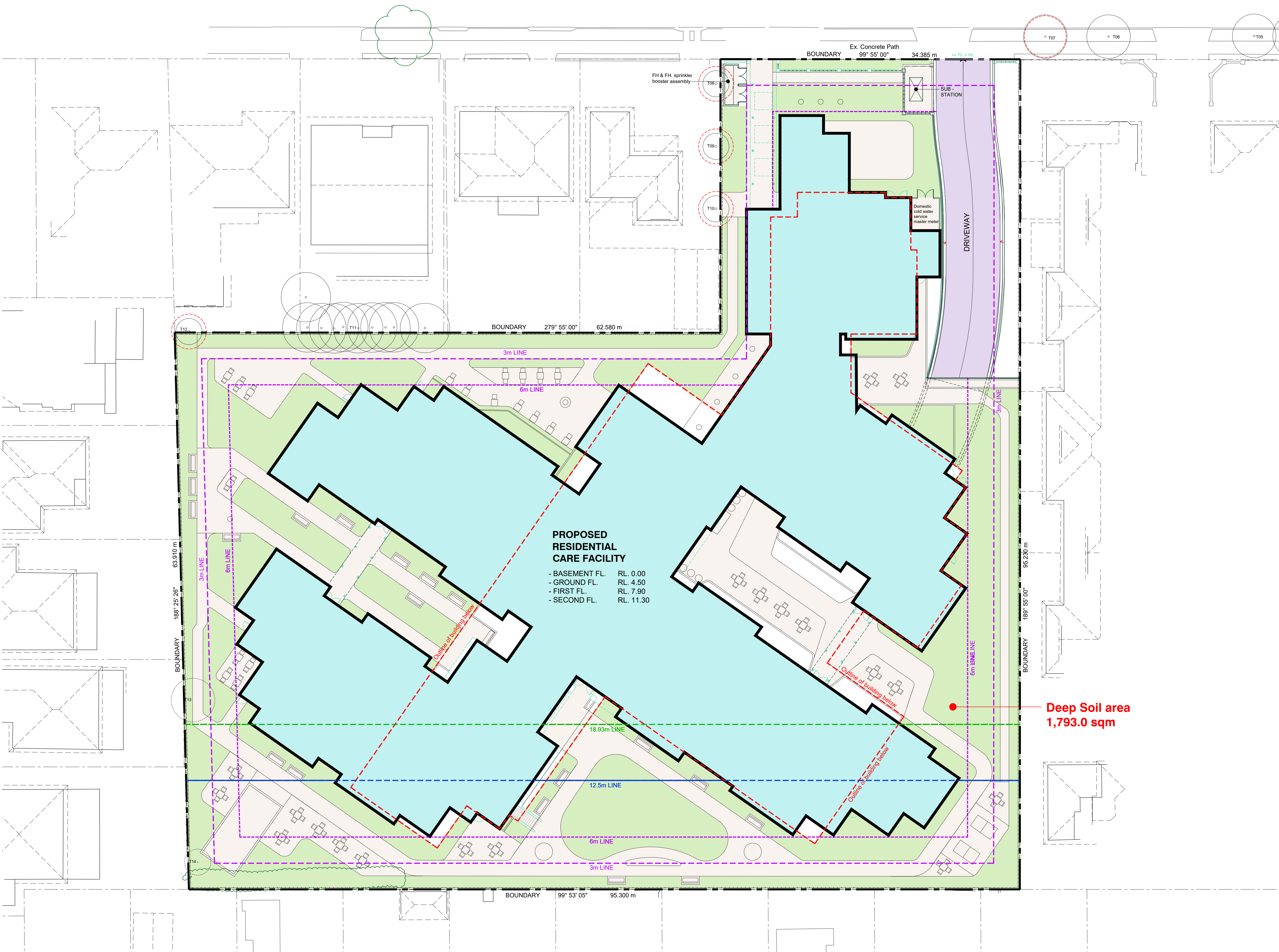
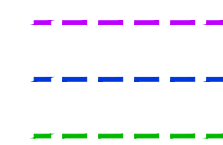
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boffa robertson group
architecture, health and aged care planning, project management
Suite 7, Level 1, Epica, 9 Railway Street
Cherrywood NSW 2067
AUSTRALIA
Tel: (02) 9406 7000
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Date	JULY 2021	Job No.	Drawing
Scale	1:200 @ A1		
Drawn			
Amendment	B		

2014 / DA03a

LEGEND	
	Proposed building
	Proposed driveway
	Deep soil area
	Proposed hardscape
	Boundary
	Basement building outline



**PROPOSED
RESIDENTIAL
CARE FACILITY**

- BASEMENT FL. RL. 0.00
- GROUND FL. RL. 4.50
- FIRST FL. RL. 7.90
- SECOND FL. RL. 11.30

**Deep Soil area
1,793.0 sqm**

0m 2 5 10 15m
SCALE: 1:200

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Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
LANDSCAPE DEEP SOIL AREAS

CENTURIUM GROUP

YOUR TRUSTED ADVISOR

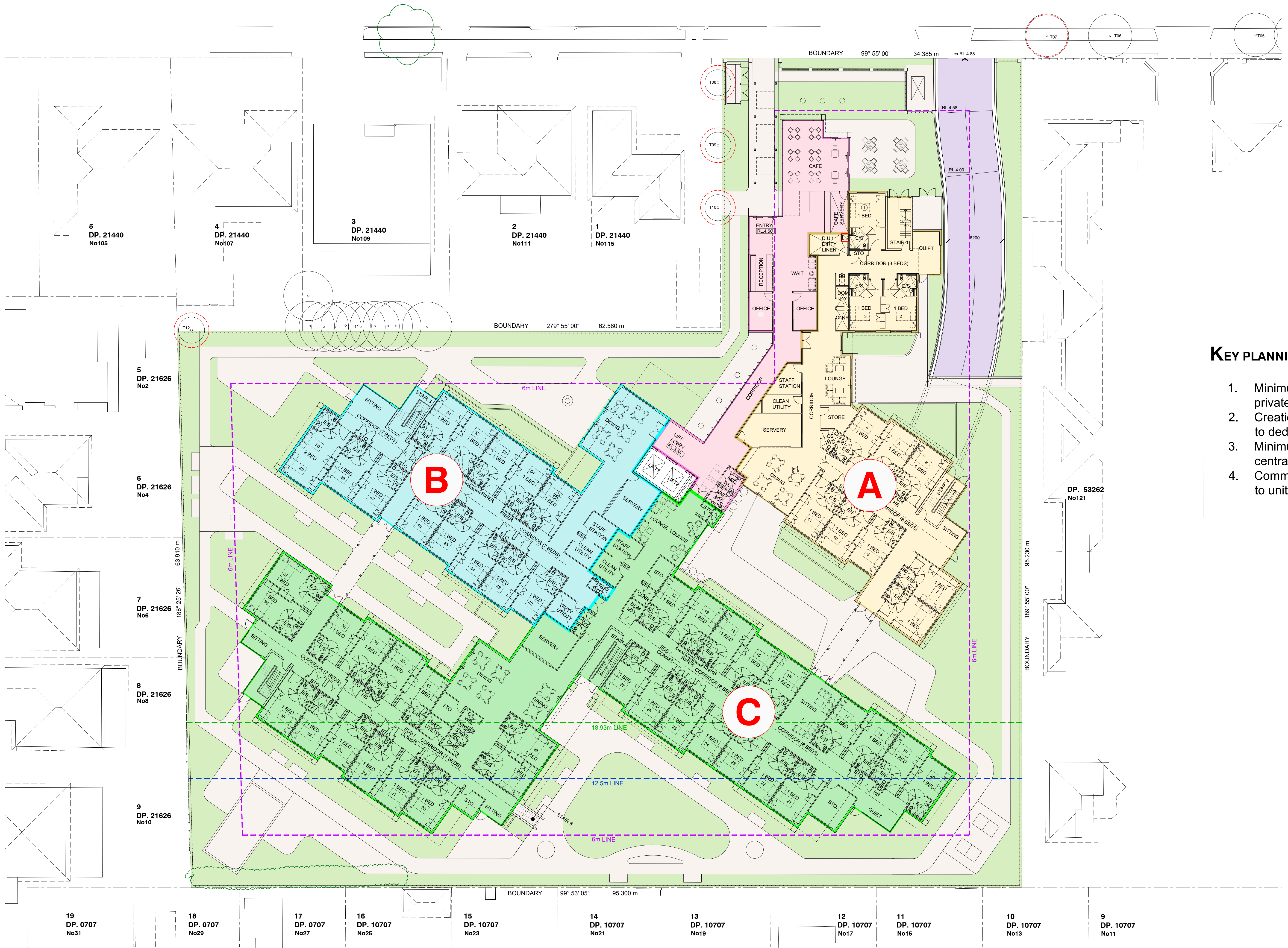


boffa robertson group
architecture, health and aged care planning, project management

Suite 7, Level 1, Epica, 9 Railway Street
Cherrywood NSW 2067
AUSTRALIA
Tel: (02) 9406 7000
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Date	JULY 2021	Job No.	Drawing
Scale	1:200 @ A1		
Drawn			
Amendment	B		

2014 / DA03b



KEY PLANNING CONSIDERATIONS

1. Minimum trolley traffic past private bedrooms
2. Creation of and easy access to dedicated gardens
3. Minimum travel from entry to centrally located lifts
4. Common areas located close to unit entries

0m 2 5 10 15m
SCALE: 1:200

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SUMMITCARE - MONTEREY
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Drawing
GROUND FLOOR PLAN -
PLANNING CONSIDERATIONS

CENTURIUM GROUP
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SUMMITCARE
WORTH WORTH WELLBEING

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architecture, health and aged care planning, project management
Suite 7, Level 1, Epica, 9 Railway Street
Cherrywood NSW 2067
AUSTRALIA
Tel: (02) 9406 7000
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Date	JULY 2021	Job No.	- Drawing
Scale	1:200 @ A1		
Drawn	AL		2014 / DA03c
Amendment	B		

DEVELOPMENT STATISTICS

SITE AREA		7,218.7 m²
	BCA FLOOR AREA	SEPP 2004 GROSS FLOOR AREA
BASEMENT FL.	2,518.6 m²	-
GROUND FL.	3,069.5 m²	3,069.5 m²
FIRST FL.	2,597.4 m²	2,597.4 m²
SECOND FL.	1,131.3 m²	1,131.3 m²
TOTAL	9,316.8 m²	6,798.2 m²
FSR		0.94 : 1
CARPARKING / AMBULANCE		39+1= 40 spaces
LANDSCAPE AREA (incl. over basement)		3,846.2 m²
LANDSCAPE AREA PER BED		33.2 m²
LANDSCAPE AREA (excl. over basement)		3,426.1 m²
LANDSCAPE AREA PER BED		29.5 m²

RESIDENT ACCOMMODATION

	1 BED	2 BED	TOTAL
GROUND FL.	53	1 x 2B	55
FIRST FL.	42	1 x 2B	44
SECOND FL.	15	1 x 2B	17
TOTAL No. of BEDS	110	6	116
TOTAL No. of ROOMS	110	3	113

	PRIVATE ACTIVITIES	634.0 m²
	COMMON ACTIVITIES	278.8 m²
	STORAGE	251.3 m²

LEGEND

---	BOUNDARY
-----	OUTLINE OF WALL ABOVE / BELOW
-----	ROOF OUTLINE
+ ex.RL.00.00	EXISTING LEVELS
[RL.00.00]	PROPOSED LEVELS
U	PROPOSED DOOR
=====	PROPOSED WINDOW
▲	ELEVATION TAG
▲	SECTION / ELEVATION TAG

NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction	Total System R-Value (m²K/W)
J1.3 Roof and ceiling construction (Roof absorbance)	≥ 3.20
J1.4 Roof lights	Compliant
J1.5a Total System external wall construction	≥ 2.00
J1.5b Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.40
J1.6a Floor construction (above an unconditioned zone)	≥ 2.00
J1.6b Floor construction (concrete slab on ground)	≥ 2.00

Glazing - Frame Construction (Uniform solution)	Orientation	Total System U-Value (m²K/W)	Total System SHGC
Total window frame construction	All facades	≤ 2.10	≤ 0.18

ACOUSTIC REQUIREMENTS

Space / Activity Type	Recommended Design Sound Levels
Common Areas (e.g. foyer, lobby)	45 - 50 dB (A) Leq
Living Areas (e.g. common, lounges)	35 - 45 dB (A) Leq
Sleeping Areas (night time)	35 - 40 dB (A) Leq
Work areas (e.g. concierge, administration)	35 - 45 dB (A) Leq



0m 2 5 10 15m
SCALE: 1:200

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Drawing
BASEMENT FLOOR PLAN

CENTURION GROUP

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boffa robertson group
architecture, health and aged care planning, project management

Suite 7, Level 1, Epica, 9 Railway Street
Chadstone, NSW 2067
AUSTRALIA
Tel: (02) 9406 7000
Fax: (02) 9406 7009
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Date	JULY 2021	Job No.	: Drawing
Scale	1:200 @ A1		
Drawn	AL	2014 /	DA04
Amendment	C		

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TOTAL	9,316.8 m ²	6,798.2 m ²
FSR	0.94 : 1	

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LANDSCAPE AREA PER BED	33.2 m ²
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LEGEND

-----	BOUNDARY
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-----	ROOF OUTLINE
+ ex RL 00.00	EXISTING LEVELS
RL 00.00	PROPOSED LEVELS
---	PROPOSED DOOR
---	PROPOSED WINDOW
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---	SECTION / ELEVATION TAG

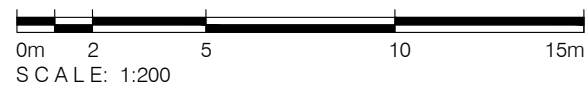
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Work areas (e.g. concierge, administration)	35 - 45 dB (A) Leq



No.	Amendment	Date
C	Development Application Re-Issue	08.11.2021
B	Development Application Re-Issue	25.08.2021
A	Development Application Issue	09.12.2020

Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
GROUND FLOOR PLAN

CENTURION GROUP
YOUR TRUSTED ADVISOR

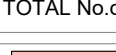


SUMMITCARE
WORTH WORTH WELLBEING

boffa robertson group
architecture, health and aged care planning, project management
Suite 7, Level 1, Epica, 9 Railway Street
Chadwood NSW 2067
AUSTRALIA
Tel: (02) 9406 7000
Fax: (02) 9406 7009
Email: brgroup@brgr.net

Date	JULY 2021	Job No.	- Drawing
Scale	1:200 @ A1	Drawn	AL
Amendment	C	2014 /	DA05



DEVELOPMENT STATISTICS

SITE AREA		7,218.7 m ²	
	BCA FLOOR AREA	SEPP 2004 GROSS FLOOR AREA	
BASEMENT FL.	2,518.6 m ²	-	
GROUND FL.	3,069.5 m ²	3,069.5 m ²	
FIRST FL.	2,597.4 m ²	2,597.4 m ²	
SECOND FL.	1,131.3 m ²	1,131.3 m ²	
TOTAL	9,316.8 m ²	6,798.2 m ²	
FSR	0.94 : 1		
CARPARKING / AMBULANCE		39+1= 40 spaces	
LANDSCAPE AREA (incl. over basement)		3,846.2 m ²	
LANDSCAPE AREA PER BED		33.2 m ²	
LANDSCAPE AREA (excl. over basement)		3,426.1 m ²	
LANDSCAPE AREA PER BED		29.5 m ²	
RESIDENT ACCOMMODATION			
	1 BED	2 BED	TOTAL
GROUND FL.	53	1 x 2B	55
FIRST FL.	42	1 x 2B	44
SECOND FL.	15	1 x 2B	17
TOTAL No. of BEDS	110	6	116
TOTAL No. of ROOMS	110	3	113
	PRIVATE ACTIVITIES		634.0 m ²
	COMMON ACTIVITIES		278.8 m ²
	STORAGE		251.3 m ²

LEGEND

---	BOUNDARY
-----	OUTLINE OF WALL ABOVE / BELOW
-----	ROOF OUTLINE
+ ex.RL.00.00	EXISTING LEVELS
[RL.00.00]	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	ELEVATION TAG
	SECTION / ELEVATION TAG

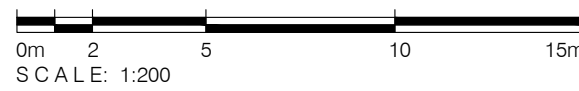
NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction	Total System R-Value (m ² K/W)
J1.3 Roof and ceiling construction (Roof absorbance)	≥ 3.20
J1.4 Roof lights	Compliant
J1.5a Total System external wall construction	≥ 2.00
J1.5b Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.40
J1.6a Floor construction (above an unconditioned zone)	≥ 2.00
J1.6b Floor construction (concrete slab on ground)	≥ 2.00

Glazing - Frame Construction (Uniform solution)	Orientation	Total System U-Value (m ² K/W)	Total System SHGC
Total window frame construction	All facades	≤ 2.10	≤ 0.18

ACOUSTIC REQUIREMENTS

Space / Activity Type	Recommended Design Sound Levels
Common Areas (e.g. foyer, lobby)	45 - 50 dB (A) Leq
Living Areas (e.g. common, lounges)	35 - 45 dB (A) Leq
Sleeping Areas (night time)	35 - 40 dB (A) Leq
Work areas (e.g. concierge, administration)	35 - 45 dB (A) Leq



C	Development Application Re-Issue	08.11.2021
B	Development Application Re-Issue	25.08.2021
A	Development Application Issue	09.12.2020
No.	Amendment	Date

Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
FIRST FLOOR PLAN

CENTURION GROUP

YOUR TRUSTED ADVISOR



boffa robertson group
architecture, health and aged care planning, project management

Suite 7, Level 1, Epica, 9 Railway Street
Chadwood NSW 2067
AUSTRALIA
Tel: (02) 9406 7000
Fax: (02) 9406 7009
Email: brgroup@brgr.net

Date	JULY 2021	Job No.	- Drawing
Scale	1:200 @ A1		
Drawn	AL		2014 / DA06
Amendment	C		



DEVELOPMENT STATISTICS

SITE AREA		7,218.7 m ²
	BCA FLOOR AREA	SEPP 2004 GROSS FLOOR AREA
BASEMENT FL.	2,518.6 m ²	-
GROUND FL.	3,069.5 m ²	3,069.5 m ²
FIRST FL.	2,597.4 m ²	2,597.4 m ²
SECOND FL.	1,131.3 m ²	1,131.3 m ²
TOTAL	9,316.8 m ²	6,798.2 m ²
FSR	0.94 : 1	
CARPARKING / AMBULANCE	39+1= 40 spaces	
LANDSCAPE AREA (incl. over basement)	3,846.2 m ²	
LANDSCAPE AREA PER BED	33.2 m ²	
LANDSCAPE AREA (excl. over basement)	3,426.1 m ²	
LANDSCAPE AREA PER BED	29.5 m ²	

RESIDENT ACCOMMODATION

	1 BED	2 BED	TOTAL
GROUND FL.	53	1 x 2B	55
FIRST FL.	42	1 x 2B	44
SECOND FL.	15	1 x 2B	17
TOTAL No. of BEDS	110	6	116
TOTAL No. of ROOMS	110	3	113

	PRIVATE ACTIVITIES	634.0 m ²
	COMMON ACTIVITIES	278.8 m ²
	STORAGE	251.3 m ²

LEGEND

---	BOUNDARY
-----	OUTLINE OF WALL ABOVE / BELOW
-----	ROOF OUTLINE
+ ex RL 00.00	EXISTING LEVELS
[RL 00.00]	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	ELEVATION TAG
	SECTION / ELEVATION TAG

NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction	Total System R-Value (m ² K/W)
J1.3 Roof and ceiling construction (Roof absorbance)	≥ 3.20
J1.4 Roof lights	Compliant
J1.5a Total System external wall construction	≥ 2.00
J1.5b Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.40
J1.6a Floor construction (above an unconditioned zone)	≥ 2.00
J1.6b Floor construction (concrete slab on ground)	≥ 2.00

Glazing - Frame Construction (Uniform solution)	Orientation	Total System U-Value (m ² K/W)	Total System SHGC
Total window frame construction	All facades	≤ 2.10	≤ 0.18

ACOUSTIC REQUIREMENTS

Space / Activity Type	Recommended Design Sound Levels
Common Areas (e.g. foyer, lobby)	45 - 50 dB (A) Leq
Living Areas (e.g. common, lounges)	35 - 45 dB (A) Leq
Sleeping Areas (night time)	35 - 40 dB (A) Leq
Work areas (e.g. concierge, administration)	35 - 45 dB (A) Leq



C	Development Application Re-Issue	08.11.2021
B	Development Application Re-Issue	25.08.2021
A	Development Application Issue	09.12.2020
No.	Amendment	Date

Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
SECOND FLOOR PLAN

CENTURIUM GROUP

YOUR TRUSTED ADVISOR






boffa robertson group

architecture, health and aged care planning, project management
Suite 7, Level 1, Epica, 9 Railway Street
Chadstone VIC 3148
AUSTRALIA
Tel: (02) 9406 7000
Fax: (02) 9406 7009
Email: brgroup@brgr.net

Date	JULY 2021	Job No.	: Drawing
Scale	1:200 @ A1		
Drawn	AL	2014 /	DA07
Amendment	C		

DEVELOPMENT STATISTICS

SITE AREA		7,218.7 m²	
	BCA FLOOR AREA	SEPP 2004 GROSS FLOOR AREA	
BASEMENT FL.	2,518.6 m²	-	
GROUND FL.	3,069.5 m²	3,069.5 m²	
FIRST FL.	2,597.4 m²	2,597.4 m²	
SECOND FL.	1,131.3 m²	1,131.3 m²	
TOTAL	9,316.8 m²	6,798.2 m²	
FSR		0.94 : 1	
CARPARKING / AMBULANCE		39+1= 40 spaces	
LANDSCAPE AREA (incl. over basement)		3,846.2 m²	
LANDSCAPE AREA PER BED		33.2 m²	
LANDSCAPE AREA (excl. over basement)		3,426.1 m²	
LANDSCAPE AREA PER BED		29.5 m²	
RESIDENT ACCOMMODATION			
	1 BED	2 BED	TOTAL
GROUND FL.	53	1 x 2B	55
FIRST FL.	42	1 x 2B	44
SECOND FL.	15	1 x 2B	17
TOTAL No. of BEDS	110	6	116
TOTAL No. of ROOMS	110	3	113
	PRIVATE ACTIVITIES	634.0 m²	
	COMMON ACTIVITIES	278.8 m²	
	STORAGE	251.3 m²	

LEGEND

	PROPOSED ROOF PITCH AND FALL DIRECTION
	OUTLINE OF BUILDING BELOW
	NEW ROOF
	PROPOSED LEVELS
	DOWNPIPE
	ROOF COWL
	SOLAR PANELS

NOTE:

J1.3	Roof and ceiling construction (Roof absorptance)	≥ 3.20	
J1.4	Roof lights	Compliant	
J1.5a	Total System external wall construction	≥ 2.00	
J1.5b	Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.40	
J1.6a	Floor construction (above an unconditioned zone)	≥ 2.00	
J1.6b	Floor construction (concrete slab on ground)	≥ 2.00	
Glazing - Frame Construction (Uniform solution)	Orientation	Total System U-Value (m ² K/W)	Total System SHGC
Total window frame construction	All facades	≤ 2.10	≤ 0.18

ACOUSTIC REQUIREMENTS

Space / Activity Type	Recommended Design Sound Levels
Common Areas (e.g. foyer, lobby)	45 - 50 dB (A) Leq
Living Areas (e.g. common, lounges)	35 - 45 dB (A) Leq
Sleeping Areas (night time)	35 - 40 dB (A) Leq
Work areas (e.g. concierge, administration)	35 - 45 dB (A) Leq



0m	2	5	10	15m
SCALE: 1:200				
C	Development Application Re-Issue	08.11.2021		
B	Development Application Re-Issue	18.08.2021		
A	Development Application Issue	09.12.2020		
No.	Amendment	Date		

Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

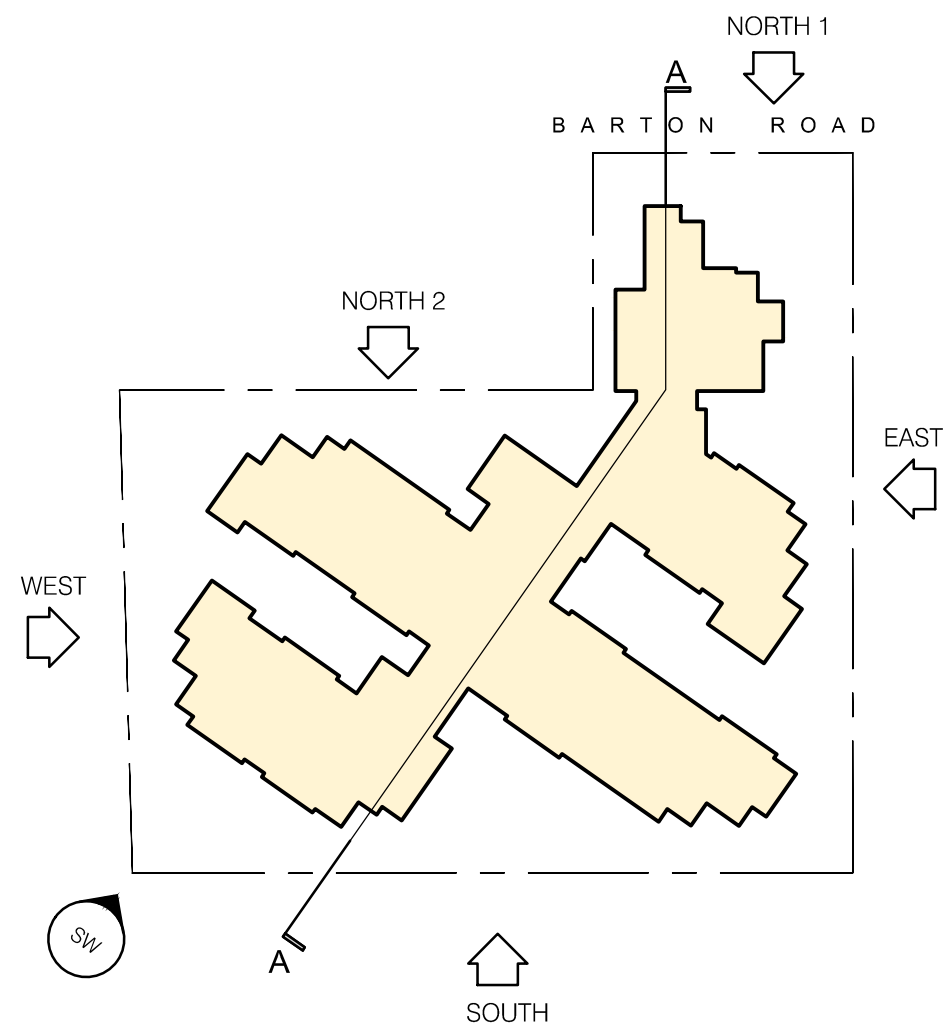
Drawing
ROOF PLAN

CENTURION GROUP
YOUR TRUSTED ADVISOR

SUMMITCARE
WORTH WORTH WELLBEING

boffa robertson group
architecture, health and aged care planning, project management
Suite 7, Level 1, Epica, 9 Railway Street
Chadstone NSW 2067
AUSTRALIA
Tel: (02) 9406 7000
Fax: (02) 9406 7009
Email: brgroup@brgr.net

Date	JULY 2021	Job No.	: Drawing
Scale	1:200 @ A1	2014 /	DA08
Drawn	JN		
Amendment	C		



LEGEND	
AD	ALUMINIUM FRAMED DOORS - COLOUR: SATIN SPANISH SILVER
AW	ALUMINIUM FRAMED WINDOWS - COLOUR: SATIN SPANISH SILVER
BA1	BALUSTRADE - TYPE 1 (GLASS) COLOUR: CLEAR GLASS
BA2	BALUSTRADE - TYPE 2 (MASONRY) COLOUR: DULUX WHISPER WHITE
CB	ROOF, GUTTER AND DOWNPIPES COLOUR: COLORBOND JASPER
CFC	COMPRESSED FIBRE CEMENT COLOUR: DULUX WHISPER WHITE
CG	COLOUR BACK GLASS
DR	EXIT DOOR COLOUR: COLORBOND DUNE
EGL	EXISTING GROUND LINE
FGL	FINISHED GROUND LINE
LVR	LOUVRE - POWDER COATED COLOUR: COLORBOND DUNE
RP1	RENDERED AND PAINTED - COLOUR: DULUX WHISPER WHITE
RP2	RENDERED AND PAINTED - COLOUR: DULUX GREY EAGLE
SR	STAINLESS STEEL RAILING
ST	STONE VENEER CLADDING
TLC	TIMBER-LOOK CLADDING
WB1	COMPRESSED FIBRE CEMENT WEATHER BOARD CLADDING COLOUR: DULUX GREY SCAPE
WB2	COMPRESSED FIBRE CEMENT WEATHER BOARD CLADDING COLOUR: DULUX SURTY SPELL



0m 2 5 10 15m
SCALE : 1: 200 @ A1
SCALE : 1: 400 @ A3

C	Development Application Re-Issue	08.11.2021
B	Development Application Re-Issue	25.08.2021
A	Development Application Issue	09.12.2020
No.	Amendment	Date

Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
ELEVATIONS

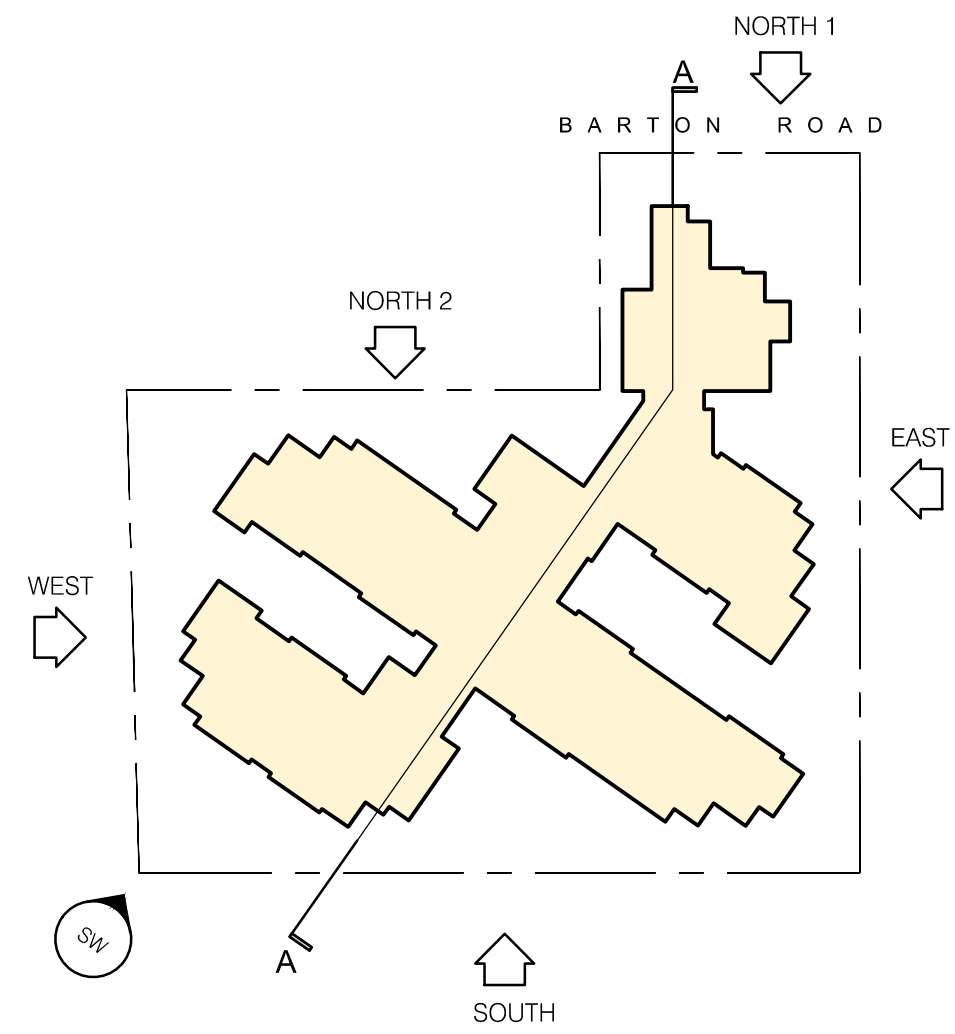
CENTURION GROUP
YOUR TRUSTED ADVISOR

SUMMITCARE
WORTH WORTH WELLBEING

boffa robertson group
architecture, health and aged care planning, project management

boffa robertson group
Suite 7, Level 1, Epica, 9 Railway Street
Cherrywood NSW 2067
AUSTRALIA
Tel: (02) 9406 7000
Fax: (02) 9406 7009
Email: brgroup@brgr.net

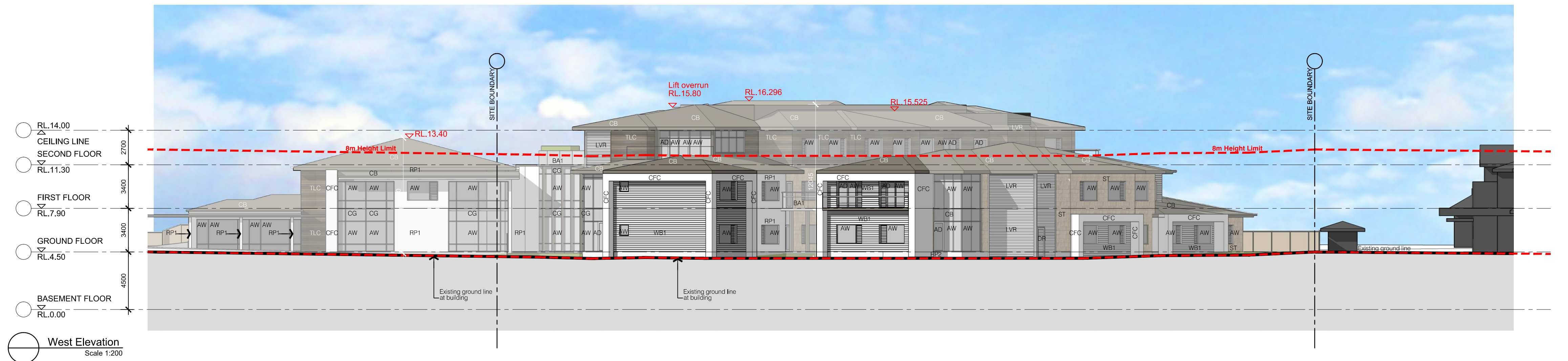
Date	JULY 2021	Job No.	Drawing
Scale	1:200 @ A1		
Drawn			2014 / DA09
Amendment	C		



KEY PLAN

LEGEND

AD	ALUMINIUM FRAMED DOORS - COLOUR: SATIN SPANISH SILVER
AW	ALUMINIUM FRAMED WINDOWS - COLOUR: SATIN SPANISH SILVER
BA1	BALUSTRADE - TYPE 1 (GLASS) COLOUR: CLEAR GLASS
BA2	BALUSTRADE - TYPE 2 (MASONRY) COLOUR: DULUX WHISPER WHITE
CB	ROOF, GUTTER AND DOWNPIPES COLOUR: COLORBOND JASPER
CFC	COMPRESSED FIBRE CEMENT COLOUR: DULUX WHISPER WHITE
CG	COLOUR BACK GLASS
DR	EXIT DOOR COLOUR: COLORBOND DUNE
EGL	EXISTING GROUND LINE
FGL	FINISHED GROUND LINE
LVR	LOUVRE - POWDER COATED COLOUR: COLORBOND DUNE
RP1	RENDERED AND PAINTED - COLOUR: DULUX WHISPER WHITE
RP2	RENDERED AND PAINTED - COLOUR: DULUX GREY EAGLE
SR	STAINLESS STEEL RAILING
ST	STONE VENEER CLADDING
TLC	TIMBER-LOOK CLADDING
WB1	COMPRESSED FIBRE CEMENT WEATHER BOARD CLADDING COLOUR: DULUX GREY SCAPE
WB2	COMPRESSED FIBRE CEMENT WEATHER BOARD CLADDING COLOUR: DULUX SURTY SPELL



0m 2 5 10 15m
SCALE : 1: 200 @ A1
SCALE : 1: 400 @ A3

C	Development Application Re-Issue	08.11.2021
B	Development Application Re-Issue	25.08.2021
A	Development Application Issue	09.12.2020
No.	Amendment	Date

Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
ELEVATIONS

CENTURIUM GROUP

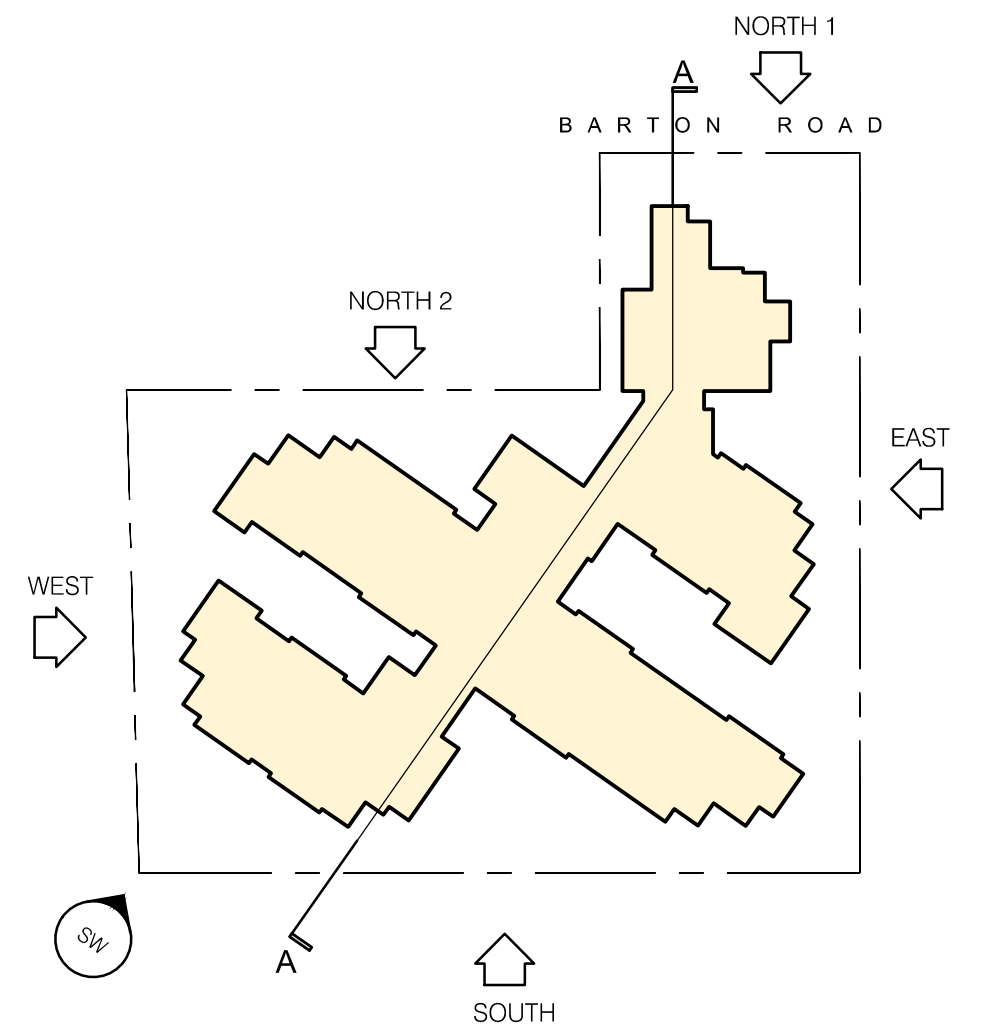
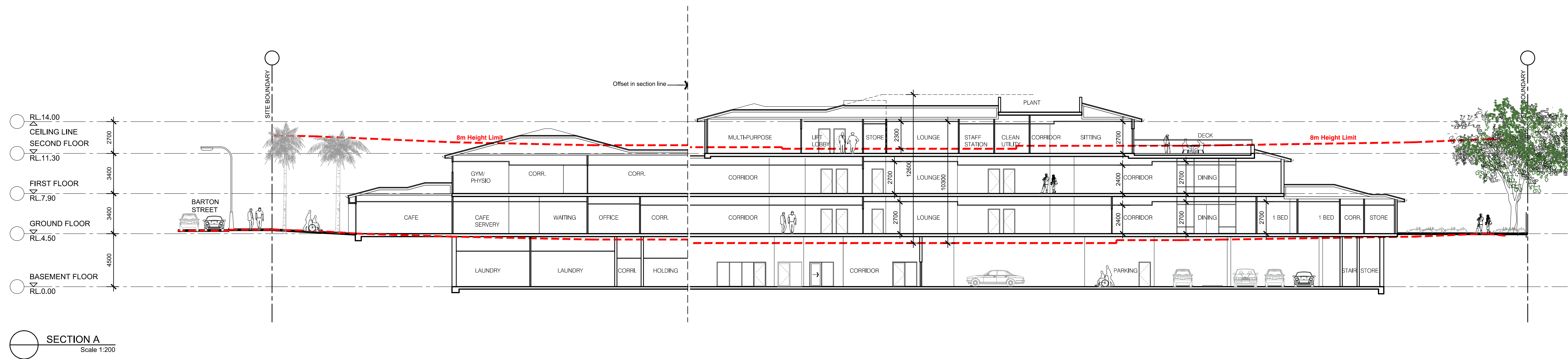
YOUR TRUSTED ADVISOR

SUMMITCARE
WORTH WORTH WELLBEING

boffa robertson group
architecture, health and aged care planning, project management

Suite 7, Level 1, Epica, 9 Railway Street
Cherrybrook NSW 2067
AUSTRALIA
Tel: (02) 9406 7000
Fax: (02) 9406 7009
Email: brgroup@brgr.net

Date	JULY 2021	Job No.	Drawing
Scale	1:200 @ A1		
Drawn			2014 / DA10
Amendment	C		



KEY PLAN

LEGEND	
AD	ALUMINIUM FRAMED DOORS - COLOUR: SATIN SPANISH SILVER
AW	ALUMINIUM FRAMED WINDOWS - COLOUR: SATIN SPANISH SILVER
BA1	BALUSTRADE - TYPE 1 (GLASS) COLOUR: CLEAR GLASS
BA2	BALUSTRADE - TYPE 2 (MASONRY) COLOUR: DULUX WHISPER WHITE
CB	ROOF: GUTTER AND DOWNPIPES COLOUR: COLORBOND JASPER
CFC	COMPRESSED FIBRE CEMENT COLOUR: DULUX WHISPER WHITE
CG	COLOUR BACK GLASS
DR	EXIT DOOR COLOUR: COLORBOND DUNE
EGL	EXISTING GROUND LINE
FGL	FINISHED GROUND LINE
LVR	LOUIRE - POWDER COATED COLOUR: COLORBOND DUNE
RP1	RENDERED AND PAINTED - COLOUR: DULUX WHISPER WHITE
RP2	RENDERED AND PAINTED - COLOUR: DULUX GREY EAGLE
SR	STAINLESS STEEL RAILING
ST	STONE VENEER CLADDING
TLC	TIMBER-LOOK CLADDING
WB1	COMPRESSED FIBRE CEMENT WEATHER BOARD CLADDING COLOUR: DULUX GREY SCAPE
WB2	COMPRESSED FIBRE CEMENT WEATHER BOARD CLADDING COLOUR: DULUX SURTY SPELL



C	Development Application Re-Issue	08.11.2021
B	Development Application Re-Issue	25.08.2021
A	Development Application Issue	09.12.2020
No.	Amendment	Date


Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing SECTIONS



boffa robertson group
architecture, health and aged care planning, project management



	Date	JULY 2021	Job No. : Drawing 2014 / DA11
	Scale	1:200 @ A1	
	Drawn		
	Amendment	C	



01 SOUTH STREET ELEVATION
Scale 1:200



02 SOUTH STREET ELEVATION - PROPOSED - MONTAGE

C	Development Application Re-Issue	08.11.2021
B	Development Application Re-Issue	25.08.2021
A	Development Application Issue	09.12.2020
No.	Amendment	Date

Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
STREET ELEVATIONS - MONTAGE

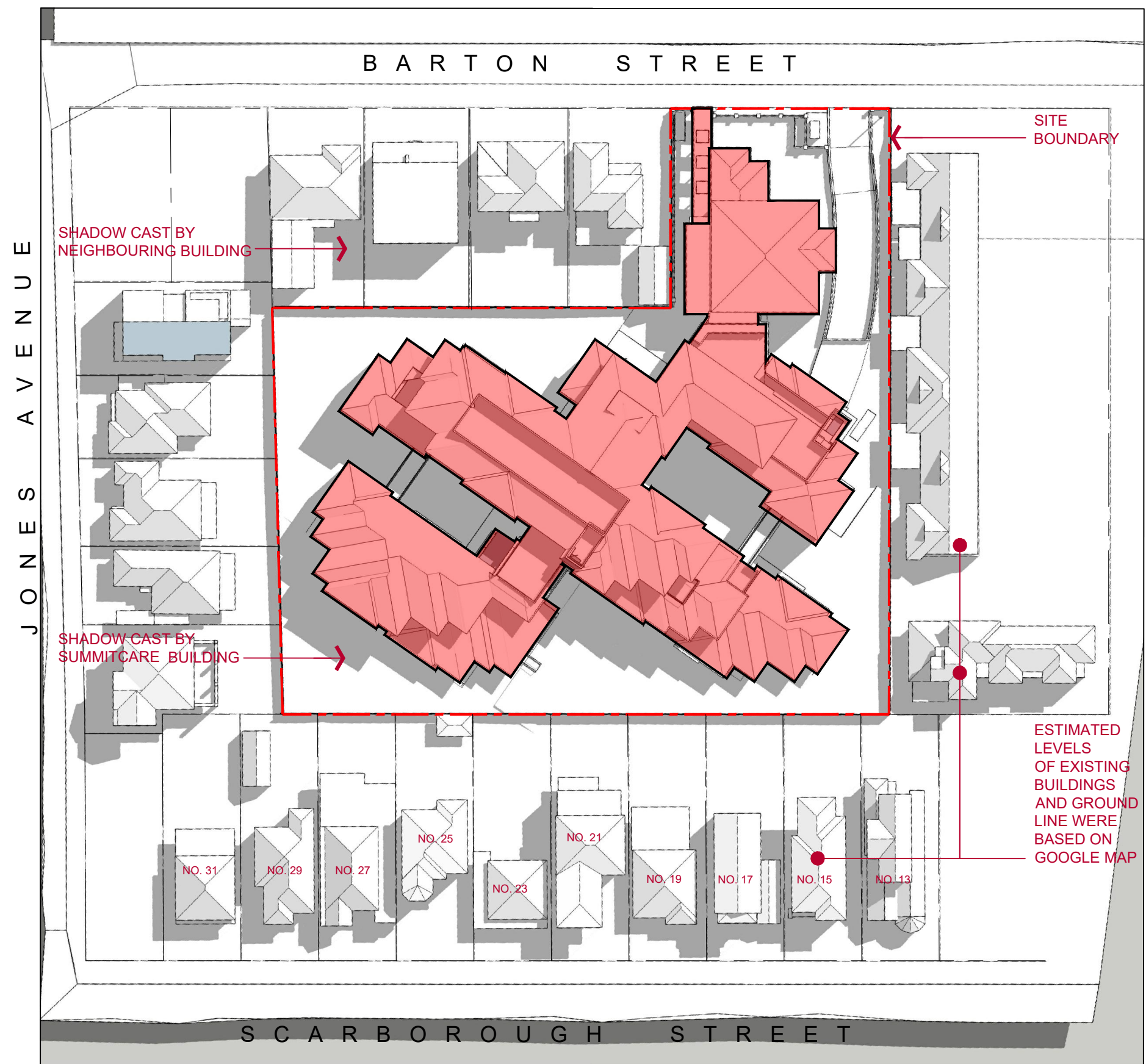
CENTURION GROUP
YOUR TRUSTED ADVISOR

SUMMITCARE
WORTH WORTH WELLBEING

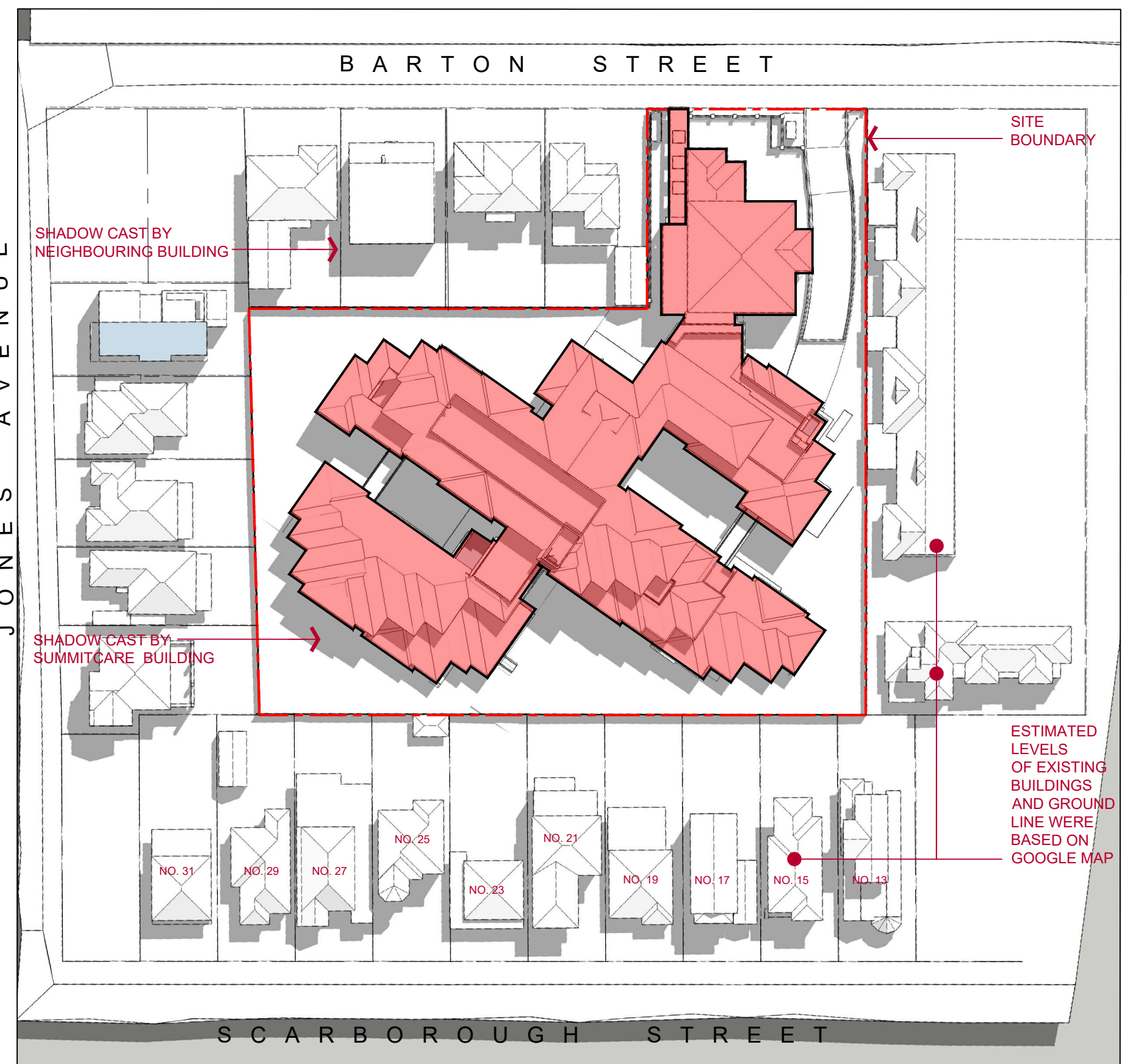
boffa robertson group
architecture, health and aged care planning, project management

Suite 7, Level 1, Epica, 9 Railway Street
Cherrywood NSW 2067
AUSTRALIA
Tel: (02) 9406 7000
Fax: (02) 9406 7099
Email: brgroup@brgr.net

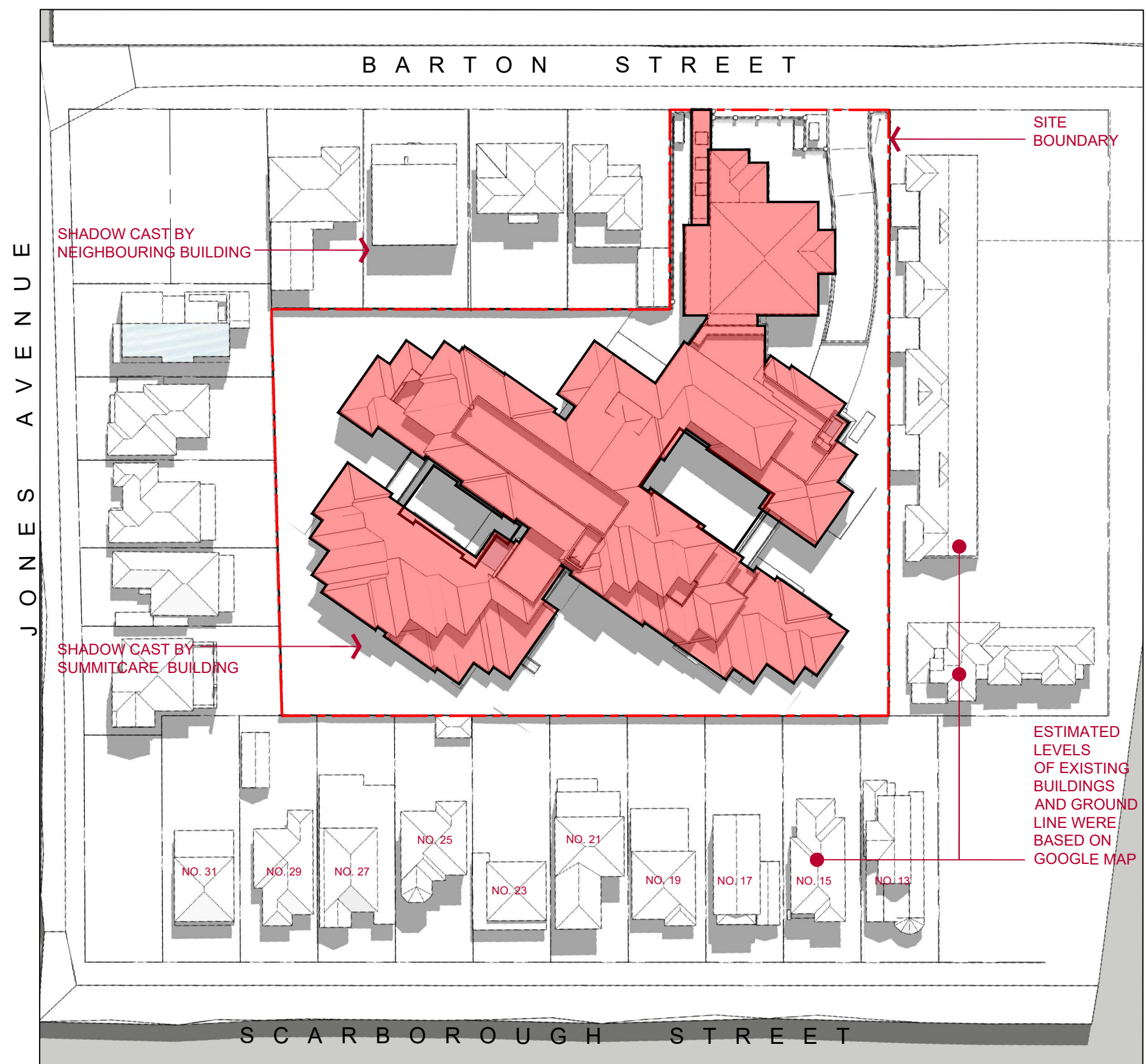
Date	JULY 2021	Job No. : Drawing
Scale	NTS	
Drawn	SS	2014 / DA12
Amendment	C	



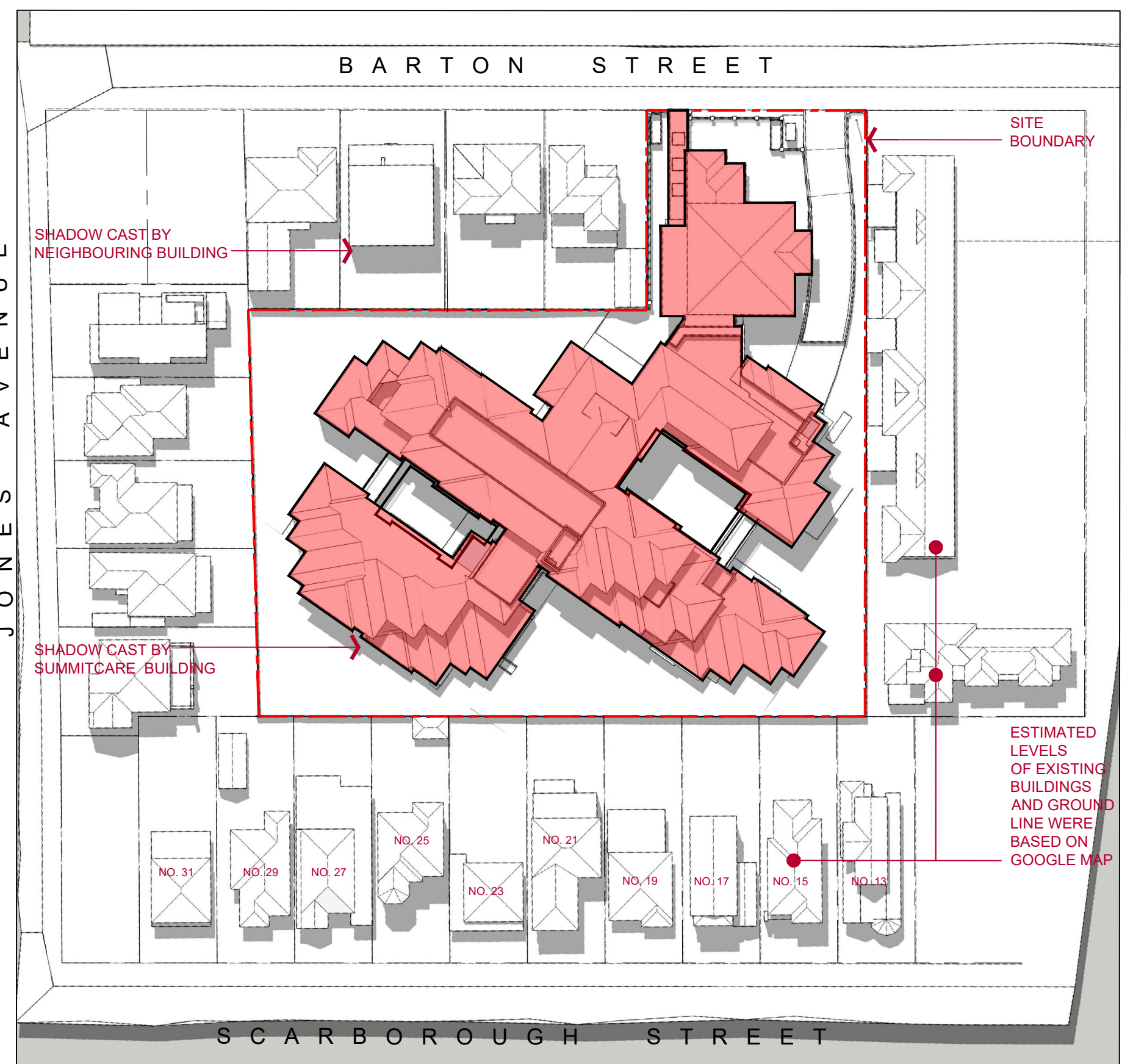
22 SEPT 9AM
PROPOSED SCHEME



22 SEPT 10AM
PROPOSED SCHEME



22 SEPT 11AM
PROPOSED SCHEME



22 SEPT 12PM
PROPOSED SCHEME

LEGEND	
	BUILDING ROOF OUTLINE
	SHADOW CAST BY SUMMITCARE BUILDING & NEIGHBOURING BUILDING
	SITE BOUNDARY

C	Development Application Re-Issue	08.11.2021
B	Development Application Re-Issue	25.08.2021
A	Development Application Issue	09.12.2020
No.	Amendment	Date

Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
SHADOW DIAGRAMS - EQUINOX 1

CENTURION GROUP

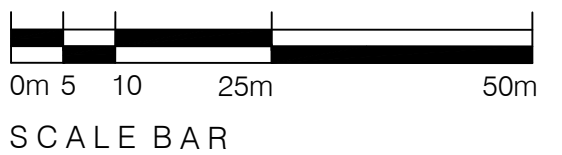
YOUR TRUSTED ADVISOR

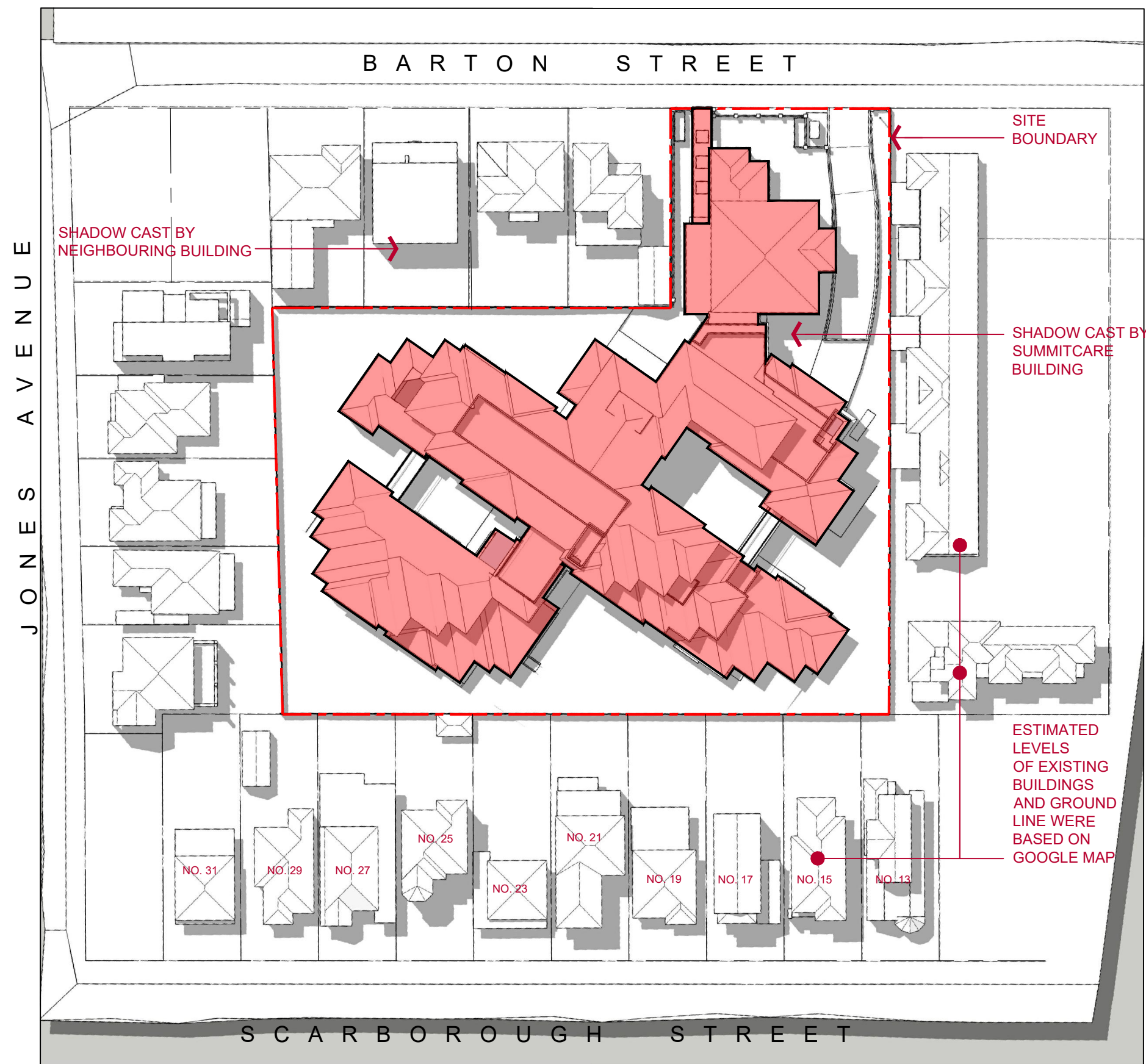


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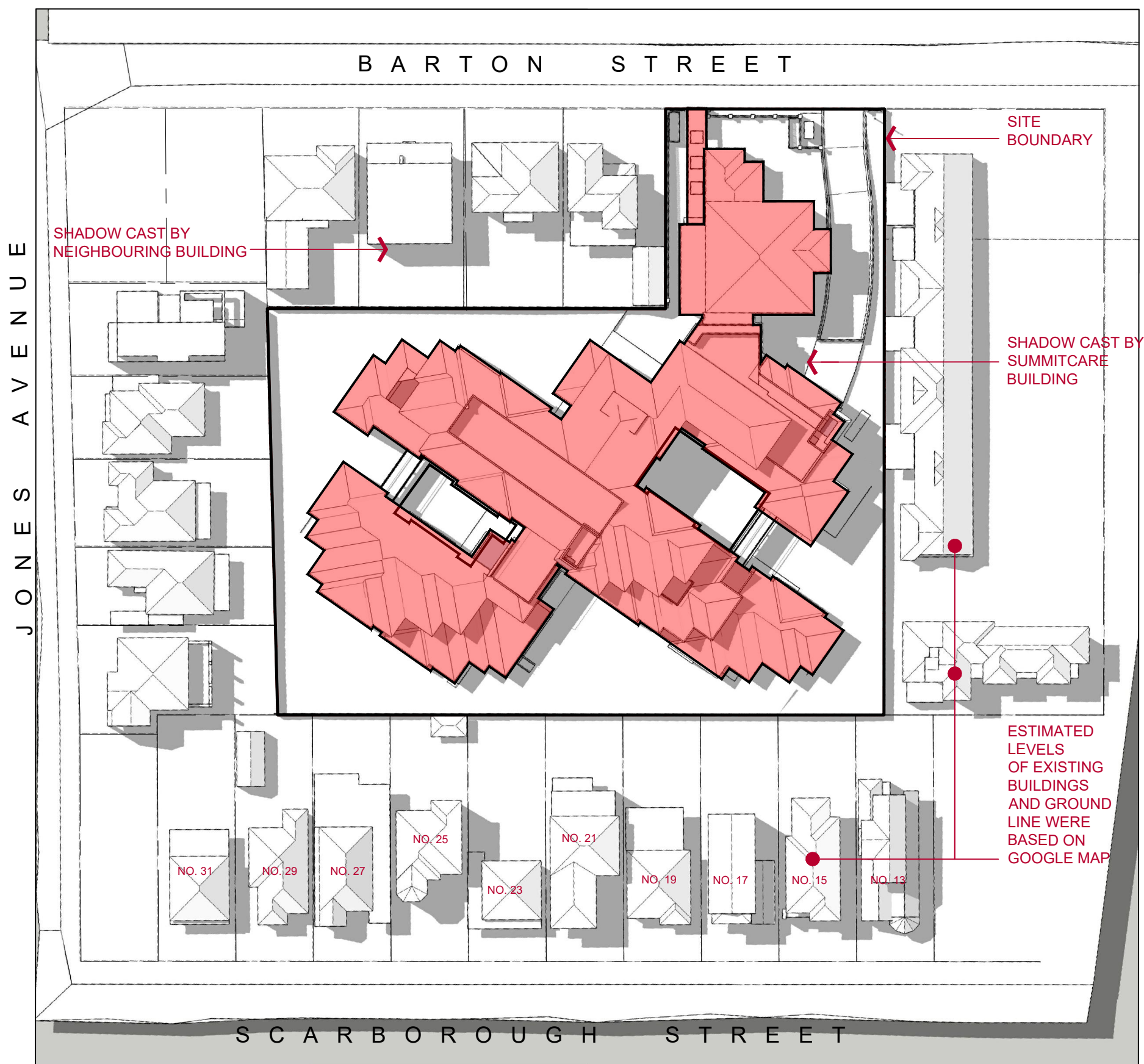
Suite 7, Level 1, Epica, 9 Railway Street
Cherrywood NSW 2067
AUSTRALIA
Tel: (02) 9406 7000
Fax: (02) 9406 7099
Email: brgroup@brgr.net

Date	JULY 2021	Job No.	- Drawing
Scale	NTS		
Drawn			2014 / DA13
Amendment	C		

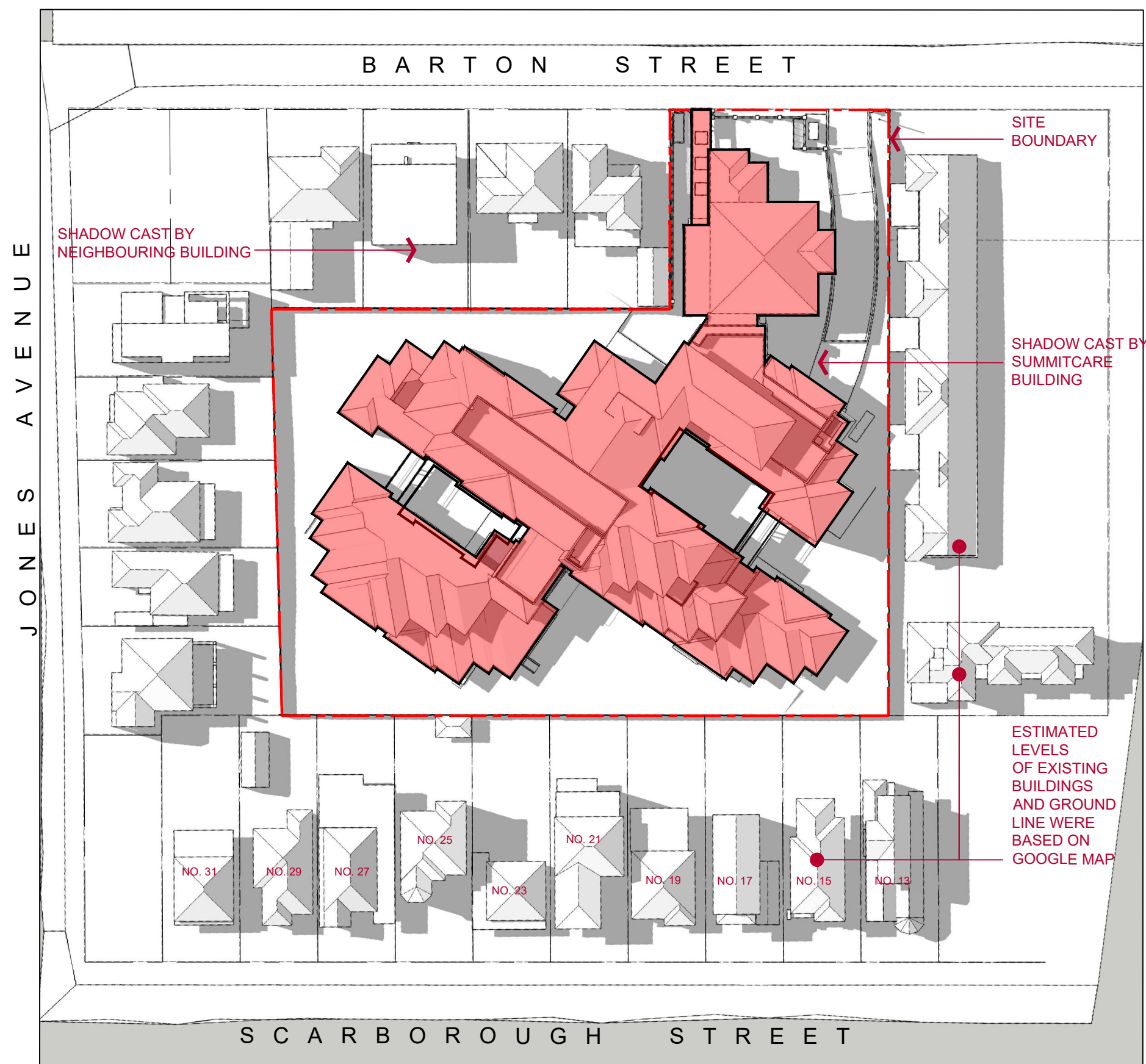




22 SEPT 1PM
PROPOSED SCHEME



22 SEPT 2PM
PROPOSED SCHEME



22 SEPT 3PM
PROPOSED SCHEME

LEGEND	
	BUILDING ROOF OUTLINE
	SHADOW CAST BY SUMMITCARE BUILDING & NEIGHBOURING BUILDING
	SITE BOUNDARY

C	Development Application Re-Issue	08.11.2021
B	Development Application Re-Issue	25.08.2021
A	Development Application Issue	09.12.2020
No.	Amendment	Date

Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

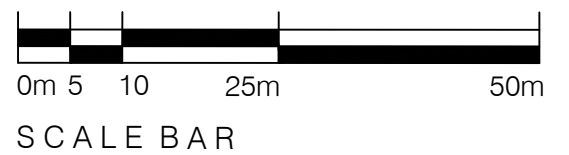
Drawing
SHADOW DIAGRAMS - EQUINOX 2

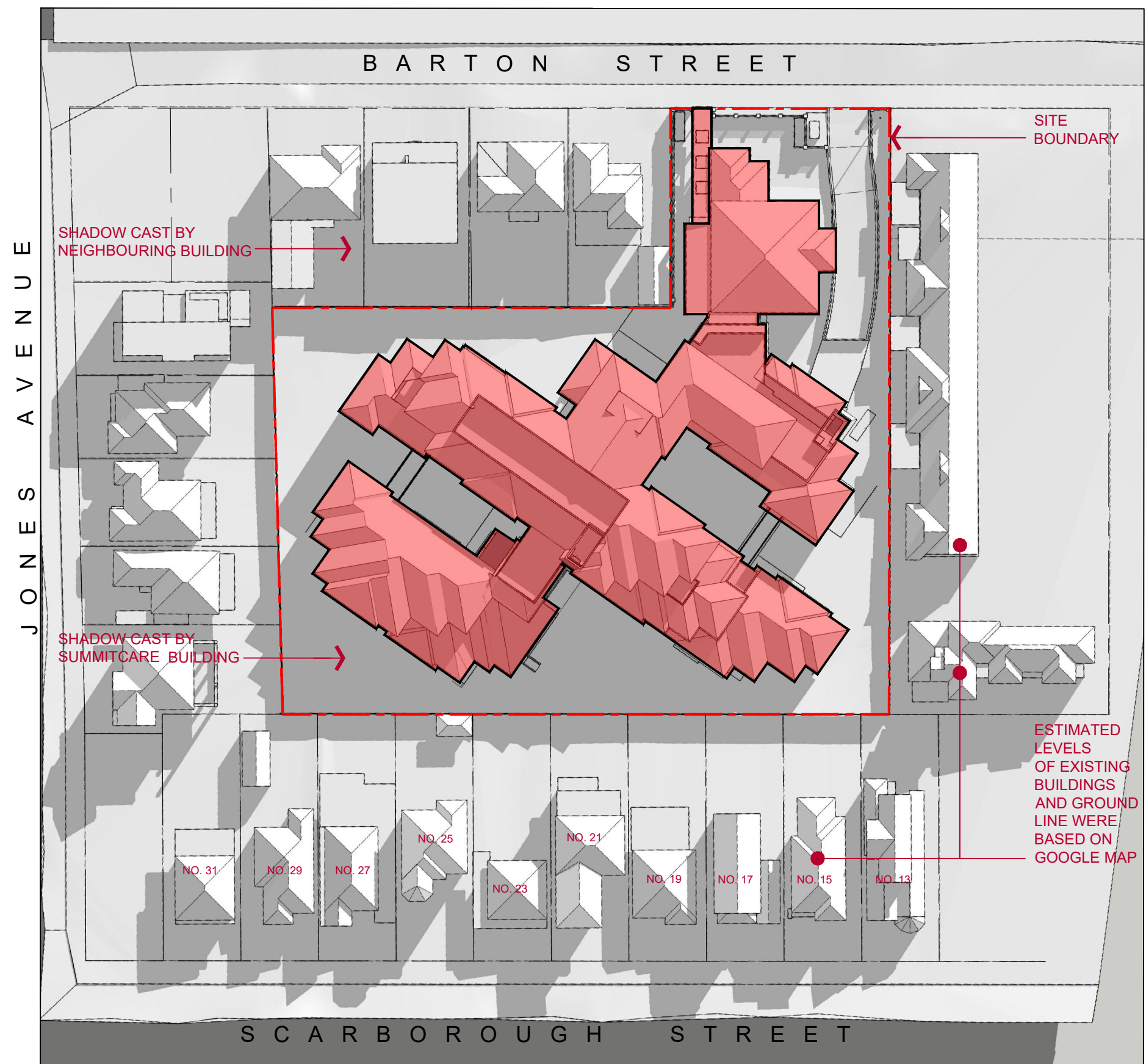
CENTURION GROUP
YOUR TRUSTED ADVISOR

SUMMITCARE
WORTH WORTH WELLBEING

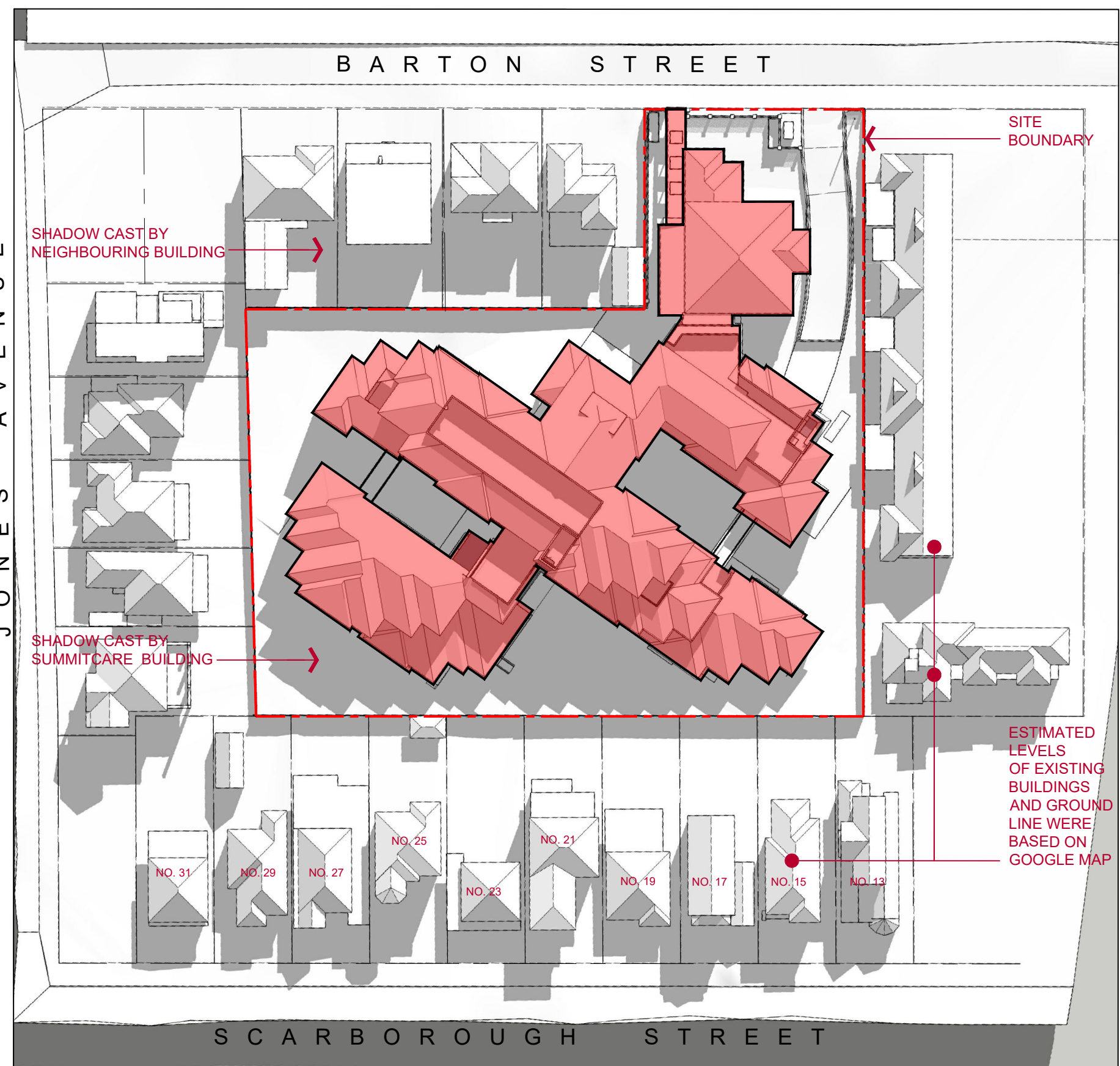
boffa robertson group
architecture, health and aged care planning, project management
Suite 7, Level 1, Epica, 9 Railway Street
Chadstone NSW 2067
AUSTRALIA
Tel: (02) 9406 7000
Fax: (02) 9406 7099
Email: brgroup@brgr.net

Date	JULY 2021	Job No.	Drawing
Scale	NTS	2014 /	DA14
Drawn			
Amendment	C		

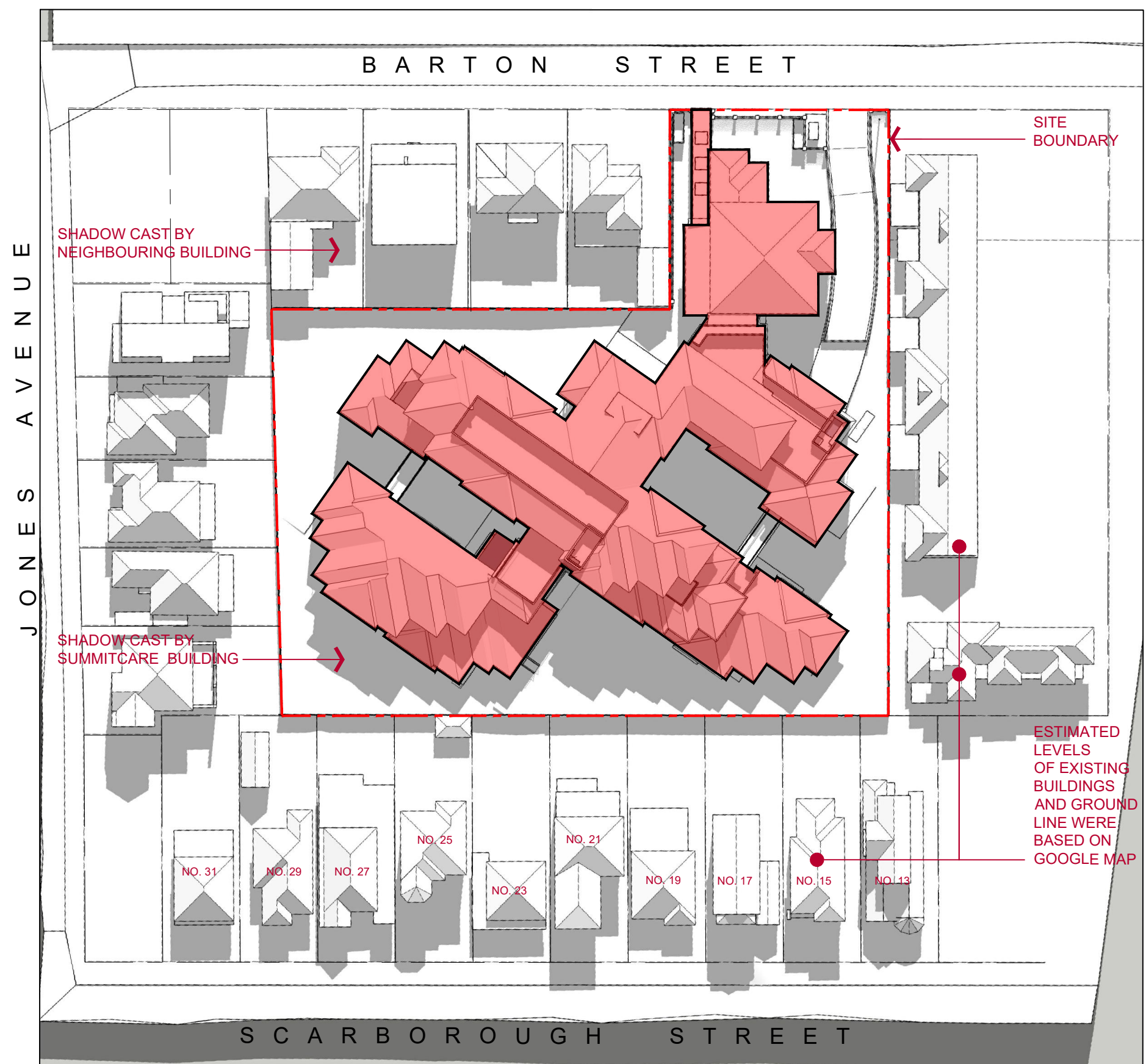




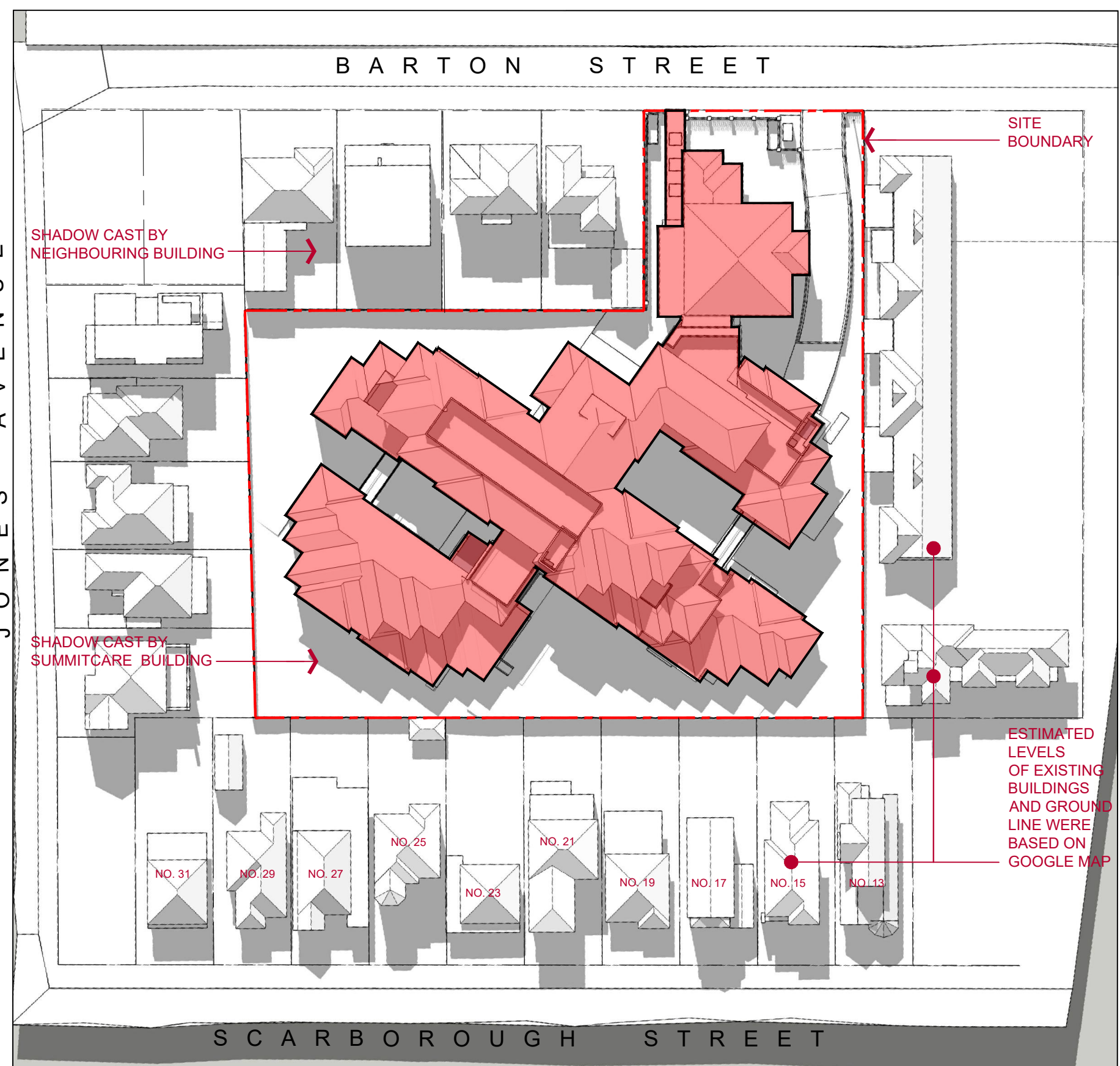
21 JUNE 9AM
PROPOSED SCHEME



21 JUNE 10AM
PROPOSED SCHEME



21 JUNE 11AM
PROPOSED SCHEME



21 JUNE 12PM
PROPOSED SCHEME

LEGEND	
	BUILDING ROOF OUTLINE
	SHADOW CAST BY SUMMITCARE BUILDING & NEIGHBOURING BUILDING
	SITE BOUNDARY

C	Development Application Re-Issue	08.11.2021
B	Development Application Re-Issue	25.08.2021
A	Development Application Issue	09.12.2020
No.	Amendment	Date

Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
SHADOW DIAGRAMS - WINTER 1

CENTURION GROUP

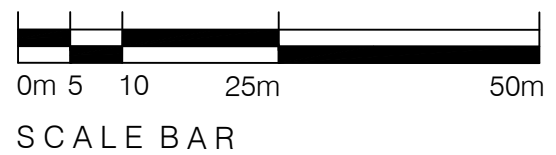
YOUR TRUSTED ADVISOR

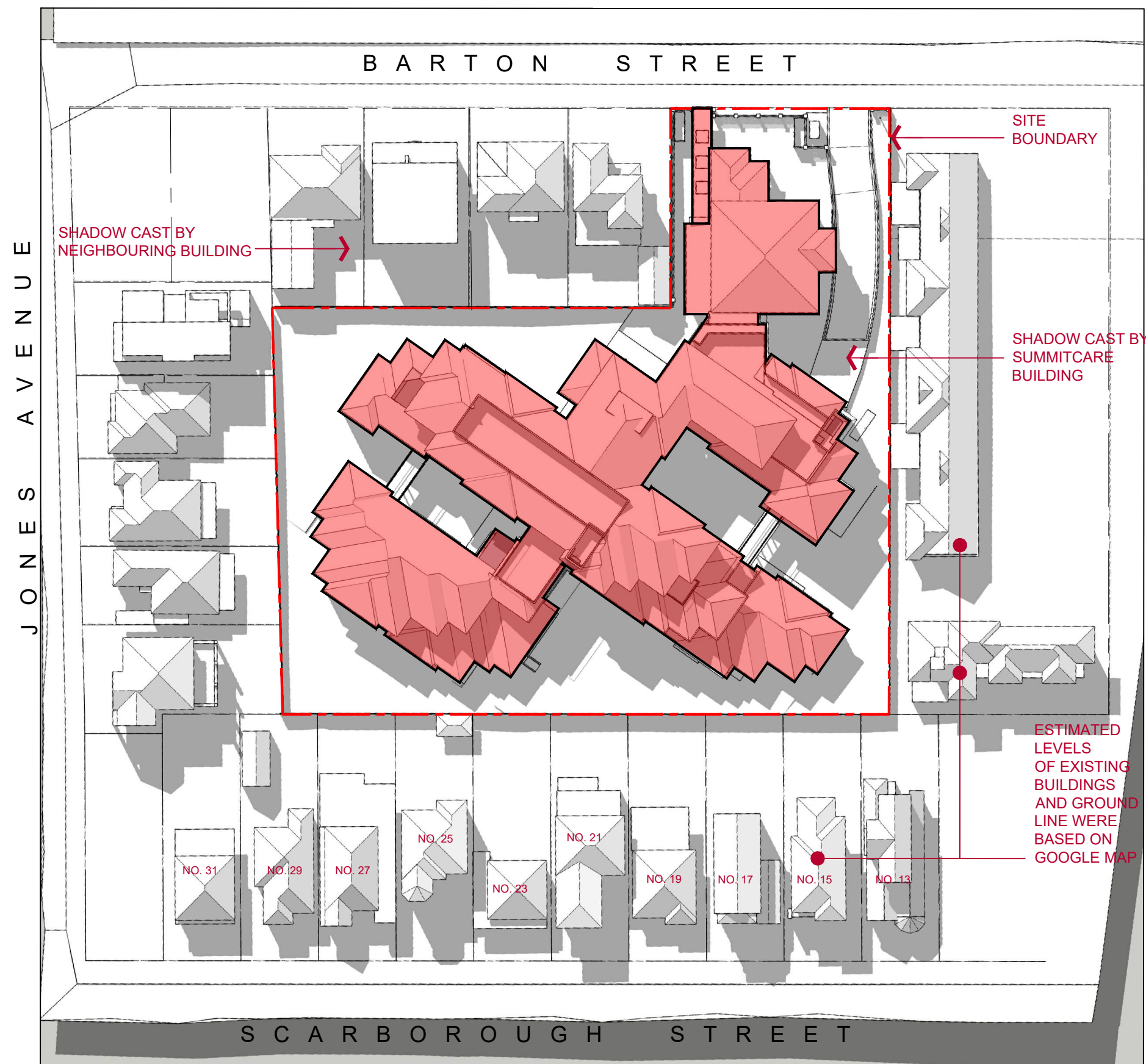


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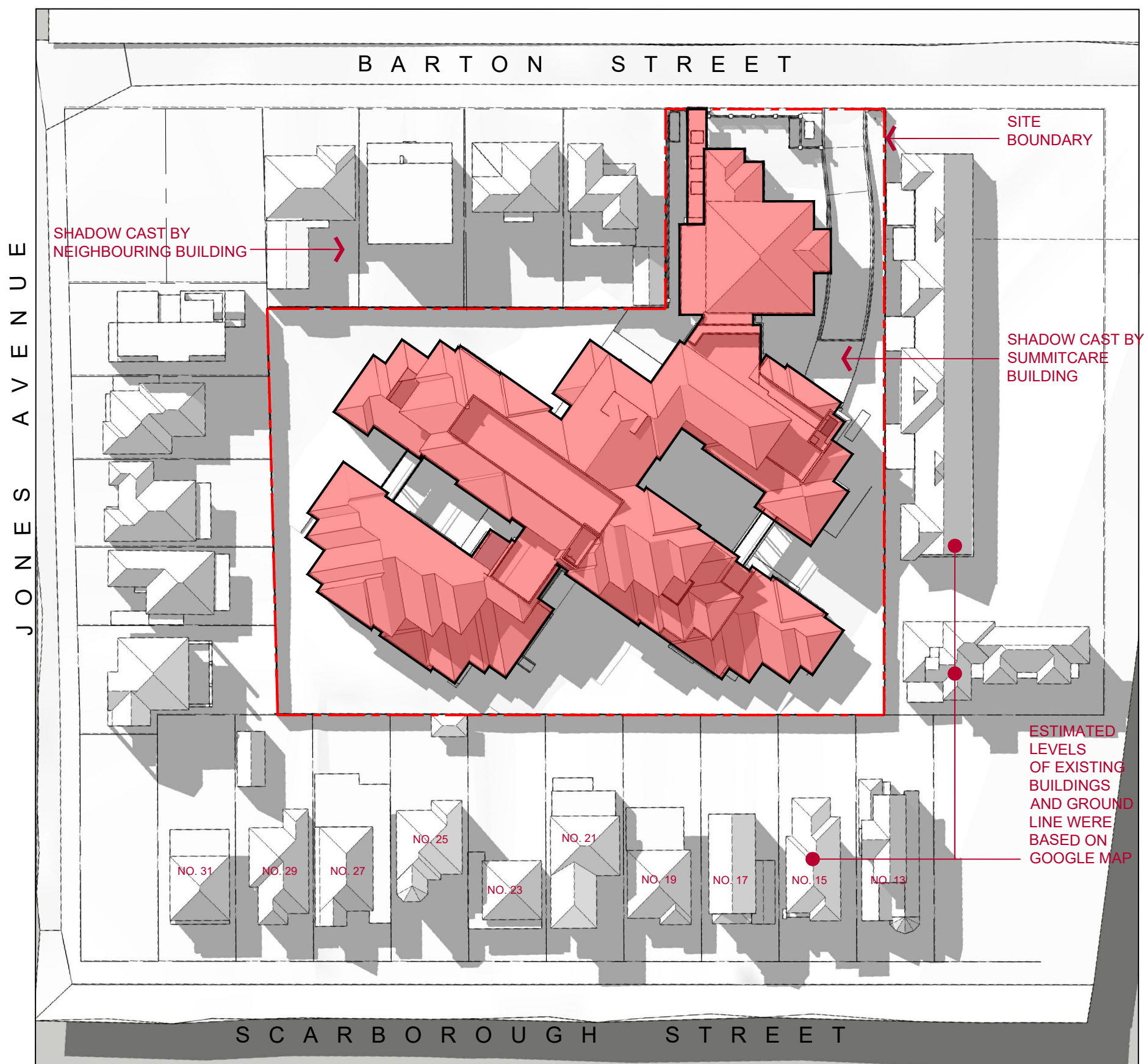
Suite 7, Level 1, Epica, 9 Railway Street
Cherrywood NSW 2067
AUSTRALIA
Tel: (02) 9406 7000
Fax: (02) 9406 7099
Email: brgroup@brgr.net

Date	JULY 2021	Job No.	Drawing
Scale	NTS		2014 / DA14a
Drawn			
Amendment	C		

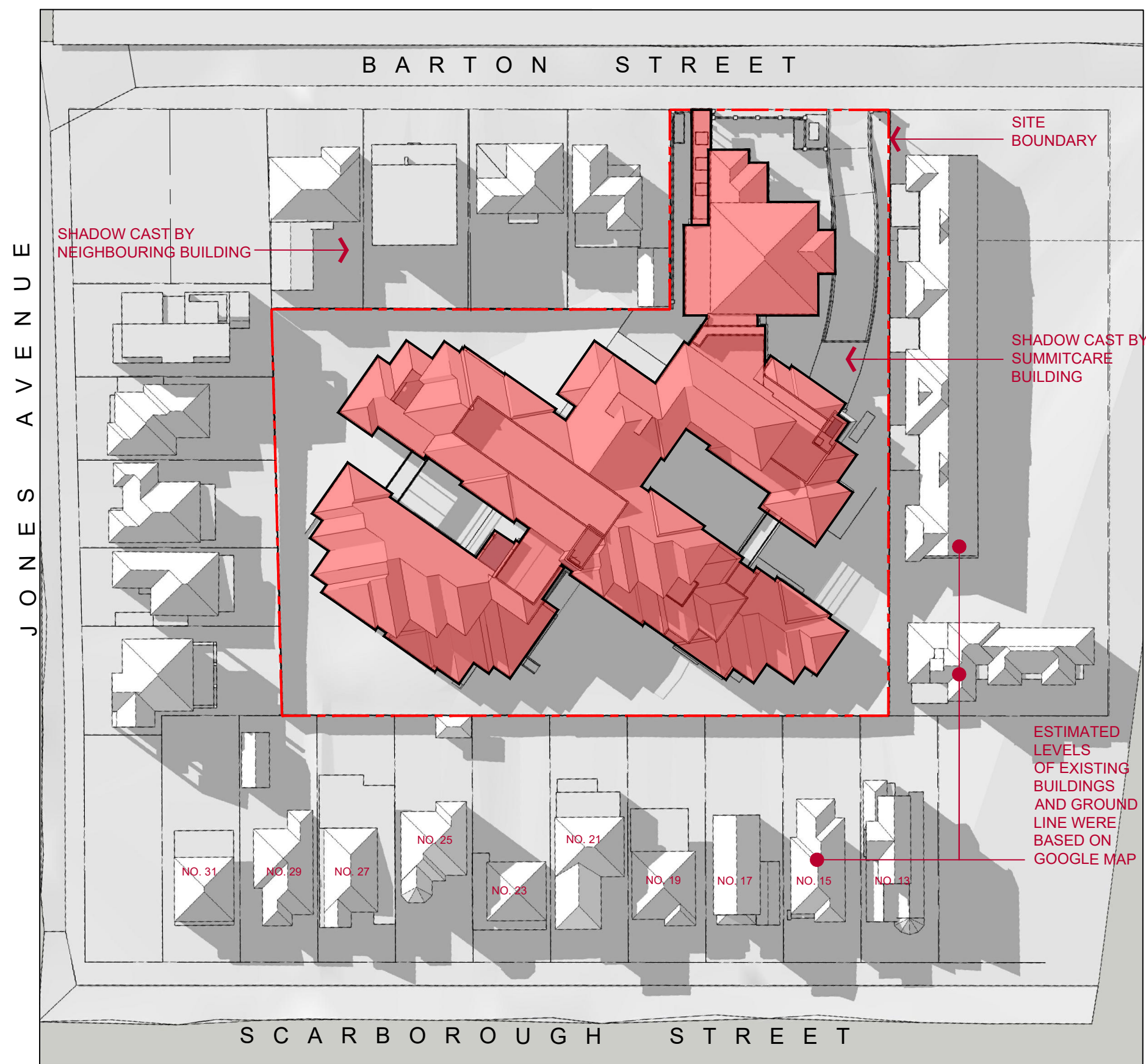




21 JUNE 1PM
PROPOSED SCHEME



21 JUNE 2PM
PROPOSED SCHEME



21 JUNE 3PM
PROPOSED SCHEME

LEGEND	
	BUILDING ROOF OUTLINE
	SHADOW CAST BY SUMMITCARE BUILDING & NEIGHBOURING BUILDING
	SITE BOUNDARY

C	Development Application Re-Issue	08.11.2021
B	Development Application Re-Issue	25.08.2021
A	Development Application Issue	09.12.2020
No.	Amendment	Date

Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
SHADOW DIAGRAMS - WINTER 2

CENTURION GROUP

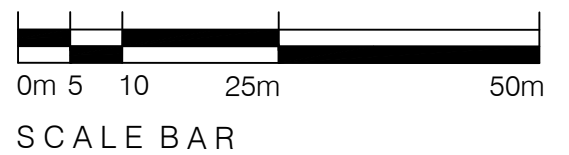
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Tel: (02) 9406 7000
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Email: brgroup@brgr.net

Date	JULY 2021	Job No.	Drawing
Scale	NTS		
Drawn			2014 / DA14b
Amendment	C		





21 JUNE 9AM

B	Development Application Re-Issue	08.11.2021
A	Development Application Issue	06.09.2021
No.	Amendment	Date

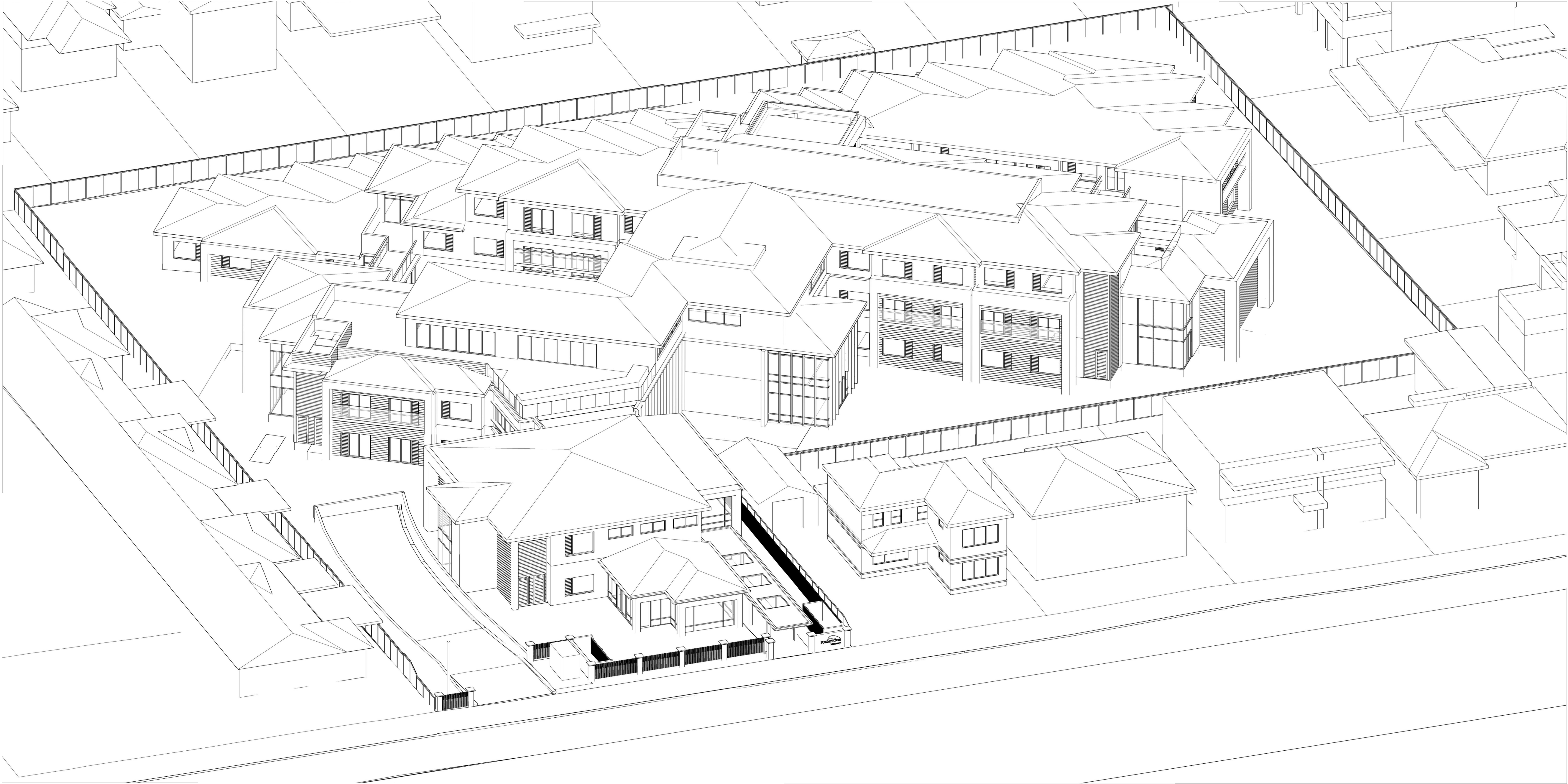
Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
DIRECT SUN ANALYSIS DIAGRAM
21 June 9am



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Chadstone NSW 2067
AUSTRALIA
Tel: (02) 9406 7000
Fax: (02) 9406 7099
Email: brgroup@brgr.net

Date	SEP 2021	Job No.	Drawing
Scale	NTS		
Drawn		2014 /	DA14c
Amendment	B		



21 JUNE 10AM

B	Development Application Re-Issue	08.11.2021
A	Development Application Issue	06.09.2021
No.	Amendment	Date

Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
DIRECT SUN ANALYSIS DIAGRAM
21 June 10am



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iqg
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Fax: (02) 9406 7099
Email: brgroup@brgr.net

Date	SEP 2021	Job No.	Drawing
Scale	NTS		
Drawn		2014 /	DA14d
Amendment	B		



21 JUNE 11AM

B	Development Application Re-Issue	08.11.2021
A	Development Application Issue	06.09.2021
No.	Amendment	Date

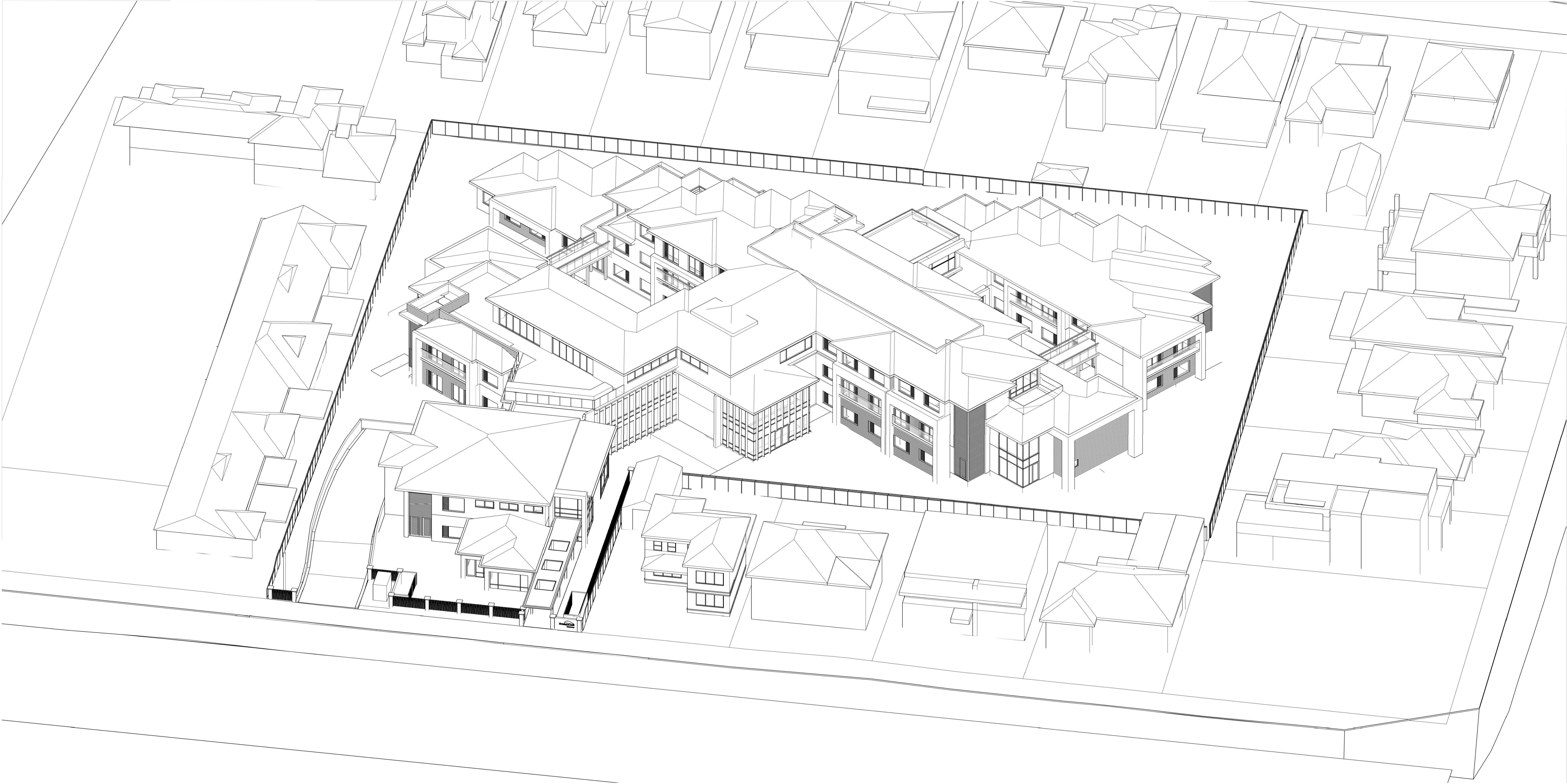
Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
DIRECT SUN ANALYSIS DIAGRAM
21 June 11am



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architecture, health and aged care planning, project management
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Email: brgroup@brgr.net

Date	SEP 2021	Job No.	Drawing
Scale	NTS		
Drawn		2014 /	DA14e
Amendment	B		



21 JUNE 12PM

B	Development Application Re-Issue	08.11.2021
A	Development Application Issue	06.09.2021
No.	Amendment	Date

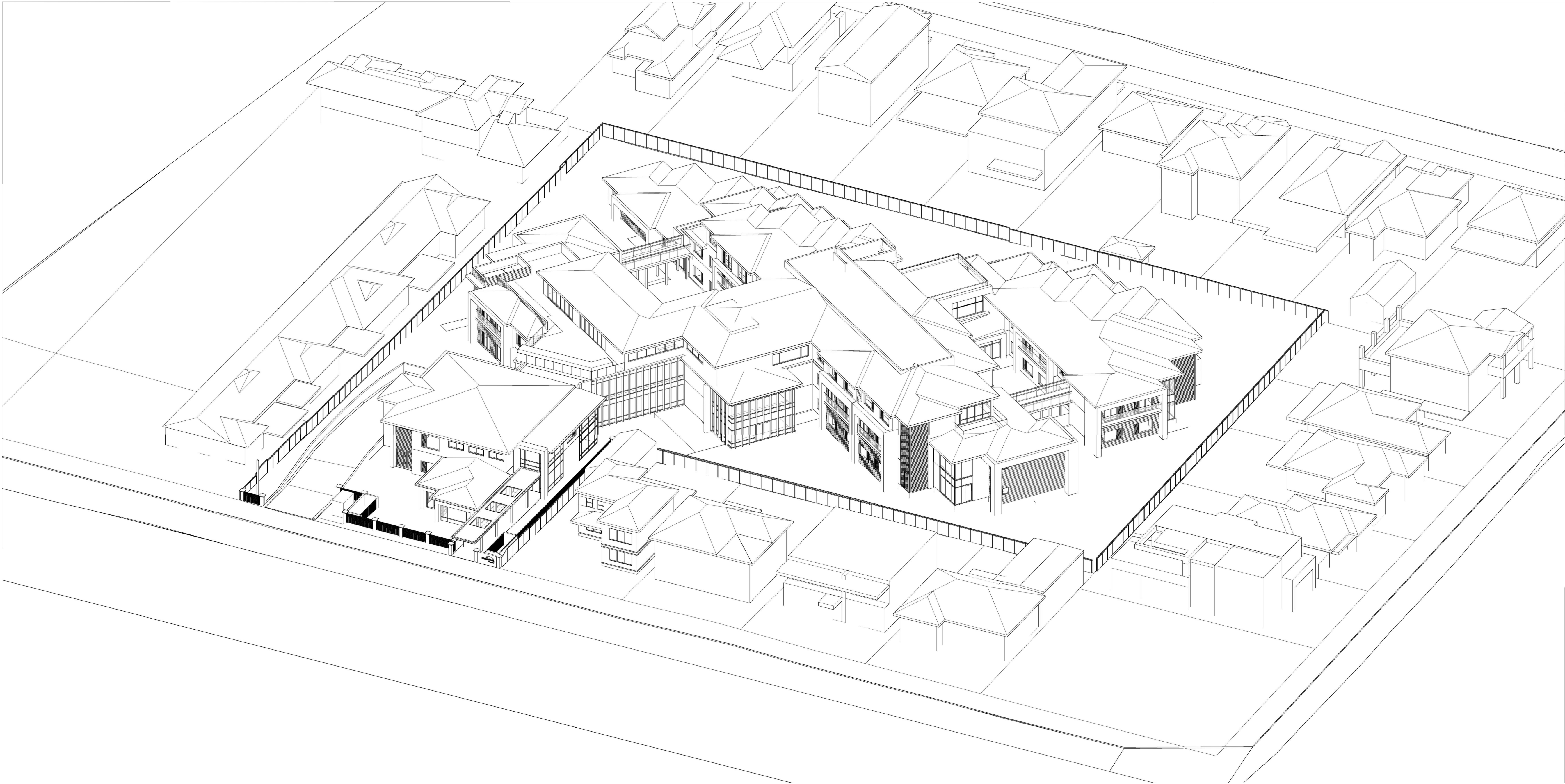
Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
DIRECT SUN ANALYSIS DIAGRAM
21 June 12pm



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Email: brgroup@brgr.net

Date	SEP 2021	Job No.	Drawing
Scale	NTS		
Drawn		2014 /	DA14f
Amendment	B		



21 JUNE 1PM

B	Development Application Re-Issue	08.11.2021
A	Development Application Issue	06.09.2021
No.	Amendment	Date

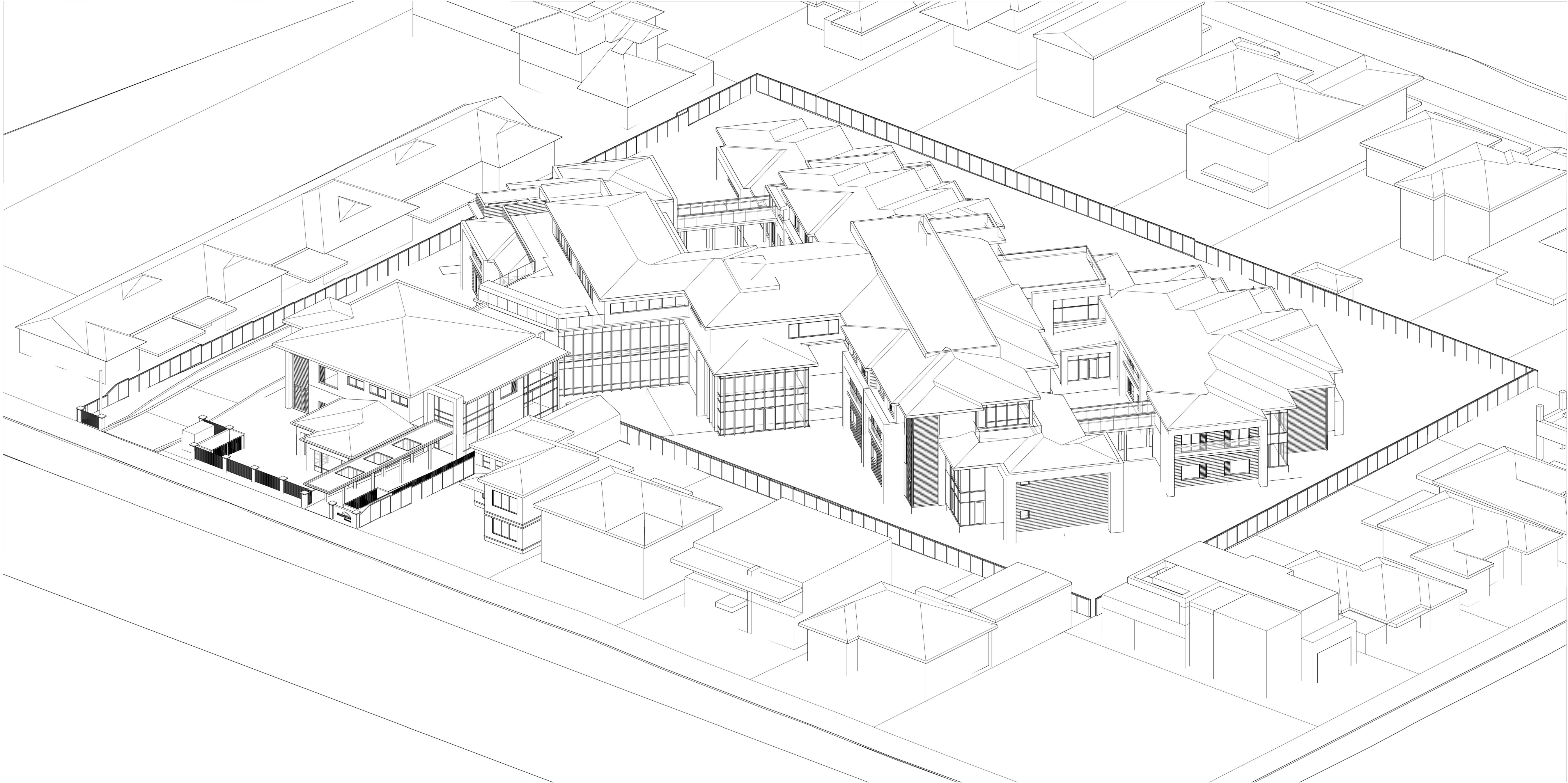
Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
DIRECT SUN ANALYSIS DIAGRAM
21 June 1pm



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Cherrywood NSW 2067
AUSTRALIA
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Email: brgroup@brgr.net

Date	SEP 2021	Job No.	Drawing
Scale	NTS		
Drawn		2014 /	DA14g
Amendment	B		



21 JUNE 2PM

B	Development Application Re-Issue	08.11.2021
A	Development Application Issue	06.09.2021
No.	Amendment	Date

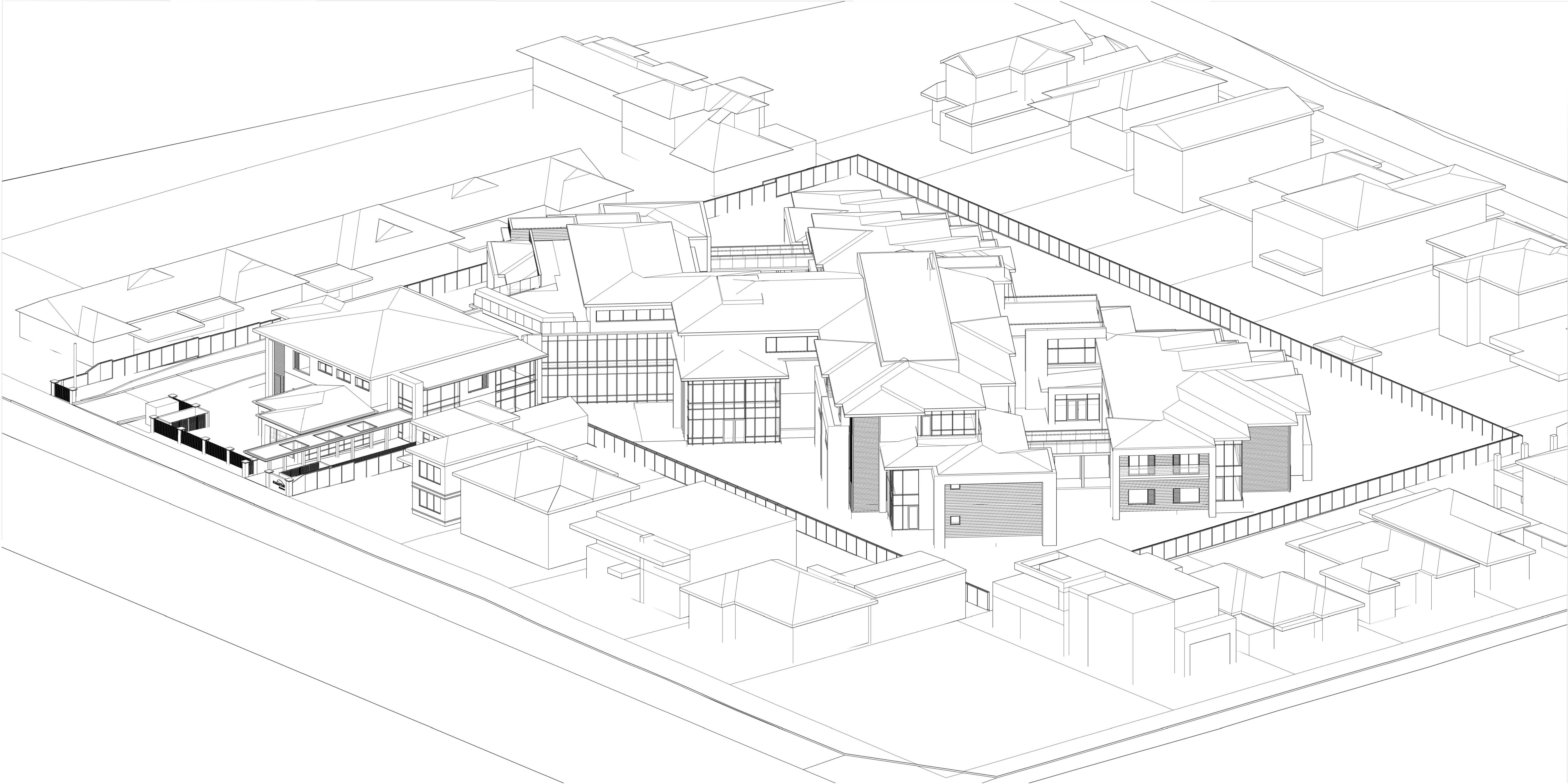
Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
DIRECT SUN ANALYSIS DIAGRAM
21 June 2pm



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Chadstone NSW 2067
AUSTRALIA
Tel: (02) 9406 7000
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Date	SEP 2021	Job No.	Drawing
Scale	NTS		
Drawn			2014 / DA14h
Amendment	B		



21 JUNE 3PM

B	Development Application Re-Issue	08.11.2021
A	Development Application Issue	06.09.2021
No.	Amendment	Date

Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
DIRECT SUN ANALYSIS DIAGRAM
21 June 3pm



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Email: brgroup@brgr.net

Date	SEP 2021	Job No.	Drawing
Scale	NTS		
Drawn		2014 /	DA14i
Amendment	B		

LEGEND	
<div></div>	SHADOW CASTED BY SUMMITCARE BUILDING
<div></div>	SHADOW CASTED BY NEIGHBOURING BUILDING



21 JUNE 9AM

NORTHERN ELEVATION OF SOUTHERN ADJOINING RESIDENTIAL BUILDINGS

No shadow by proposed summitcare building
found cast on northern elevation of neighbour building



22 SEPT 9AM

NORTHERN ELEVATION OF SOUTHERN ADJOINING RESIDENTIAL BUILDINGS

No shadow by proposed summitcare building
found cast on northern elevation of neighbour building



21 JUNE 12PM

NORTHERN ELEVATION OF SOUTHERN ADJOINING RESIDENTIAL BUILDINGS

No shadow by proposed summitcare building
found cast on northern elevation of neighbour building



22 SEPT 12PM

NORTHERN ELEVATION OF SOUTHERN ADJOINING RESIDENTIAL BUILDINGS

No shadow by proposed summitcare building
found cast on northern elevation of neighbour building



21 JUNE 3PM

NORTHERN ELEVATION OF SOUTHERN ADJOINING RESIDENTIAL BUILDINGS

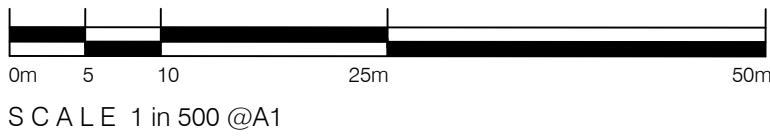
No shadow by proposed summitcare building
found cast on northern elevation of neighbour building



22 SEPT 3PM

NORTHERN ELEVATION OF SOUTHERN ADJOINING RESIDENTIAL BUILDINGS

No shadow by proposed summitcare building
found cast on northern elevation of neighbour building



B	Development Application Re-Issue	25.08.2021
A	Development Application Issue	09.12.2020
No.	Amendment	Date

Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
SHADOW DIAGRAM - ELEVATIONS OF
ADJOINING RESIDENTIAL

CENTURION GROUP
YOUR TRUSTED ADVISOR

SUMMITCARE
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AUSTRALIA
Tel: (02) 9406 7000
Fax: (02) 9406 7099
Email: brgroup@brgr.net

Date	JULY 2021	Job No.	: Drawing
Scale	1:500@ A1		
Drawn			2014 / DA15
Amendment	B		



PROPOSED SCHEME, 2 STOREY
Ground Floor - 6m Setback
First Floor - 6m Setback



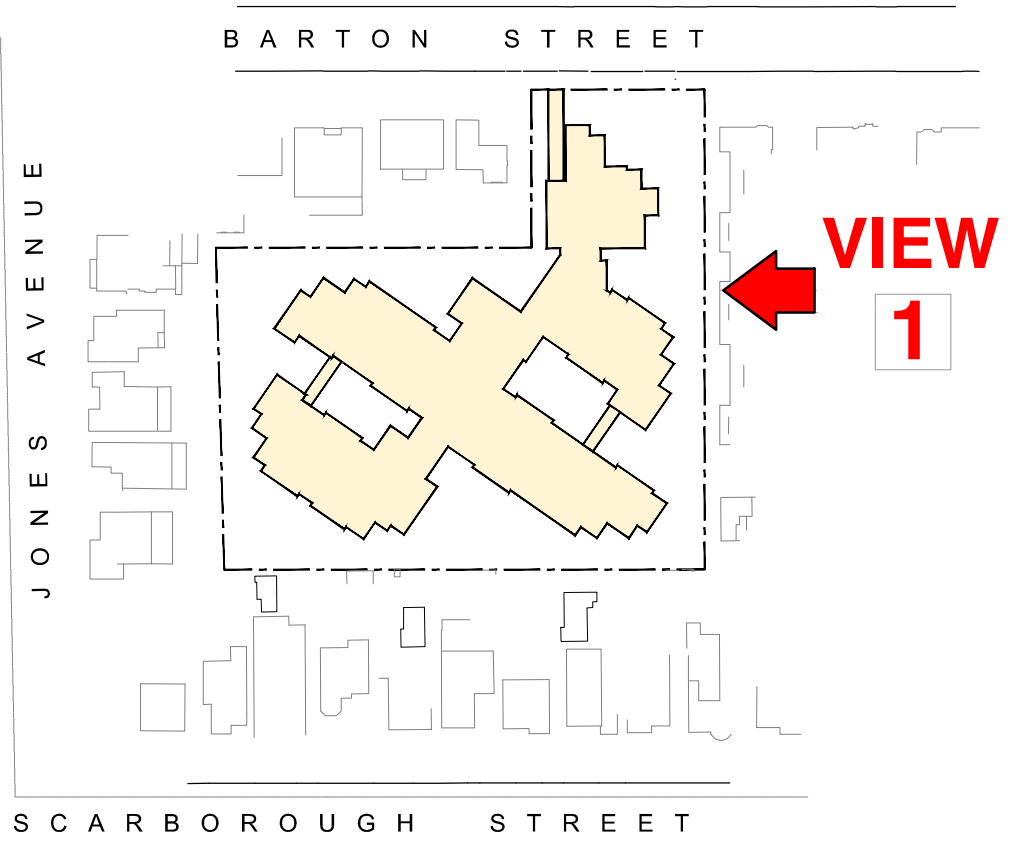
PROPOSED SCHEME, 3 STOREY
Ground Floor - 6m Setback
First Floor - 6m Setback



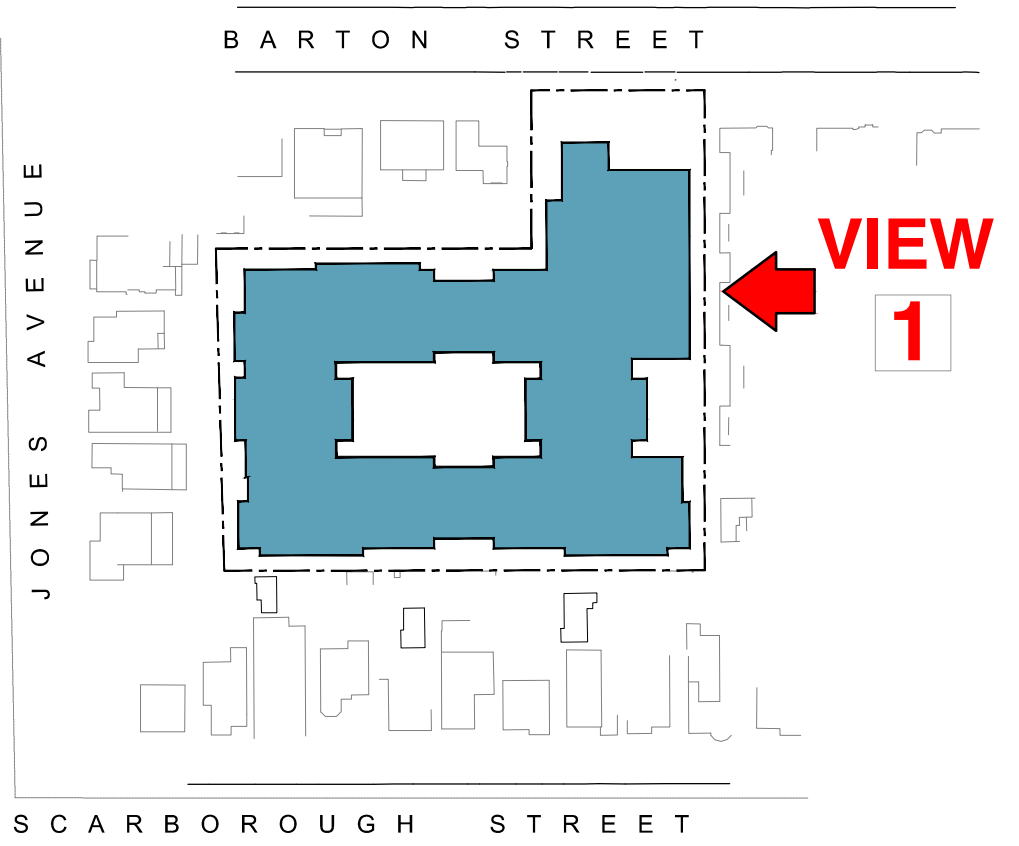
RECTILINEAR SCHEME, 2 STOREY - INFERIOR OUTCOME
Ground Floor - 3m Setback
First Floor - 6m Setback



RECTILINEAR SCHEME, 3 STOREY - INFERIOR OUTCOME
Ground Floor - 3m Setback
First Floor and Second Floor - 6m Setback



KEY PLAN 1
PROPOSED SCHEME



KEY PLAN 2
RECTILINEAR SCHEME

VIEW 1

B	Development Application Re-Issue	09.11.2021
A	Development Application Re-Issue	25.08.2021
No.	Amendment	Date

Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
VIEW ANALYSIS - VIEW 1

CENTURION GROUP

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Email: brgroup@brgr.net

Date	AUG 2021	Job No.	Drawing
Scale	NTS		
Drawn		2014 /	DA15a
Amendment	B		



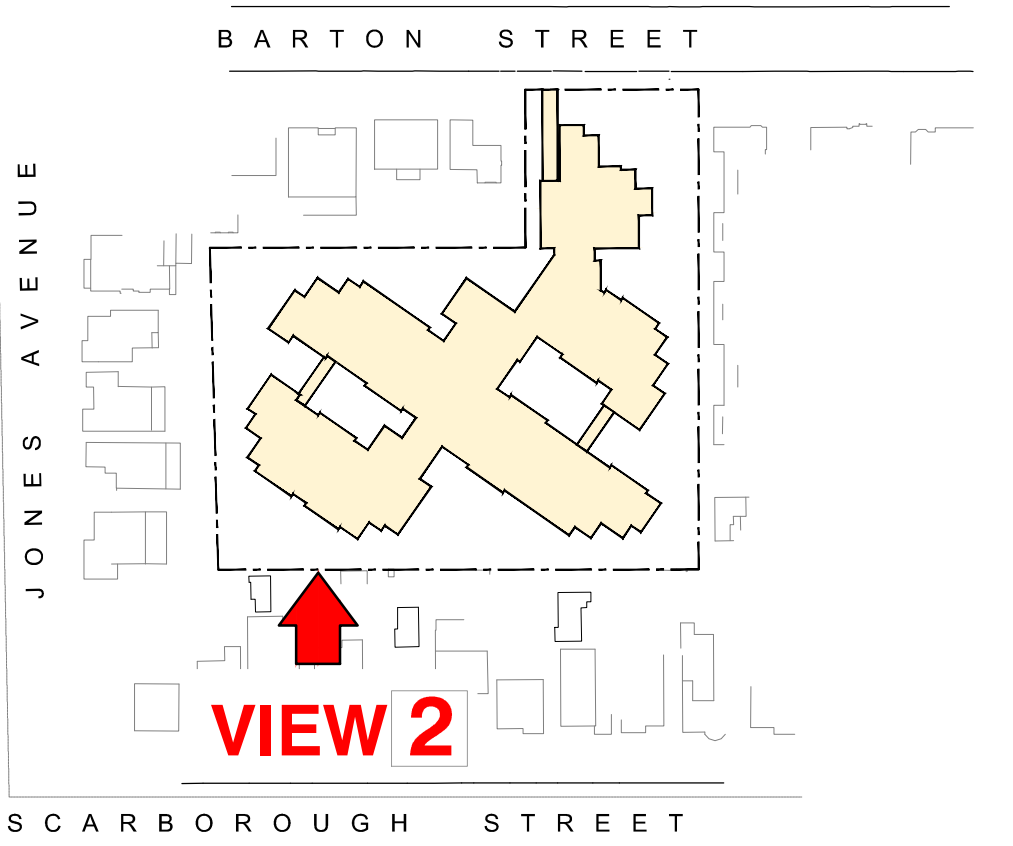
PROPOSED SCHEME, 2 STOREY
Ground Floor - 6m Setback
First Floor - 6m Setback



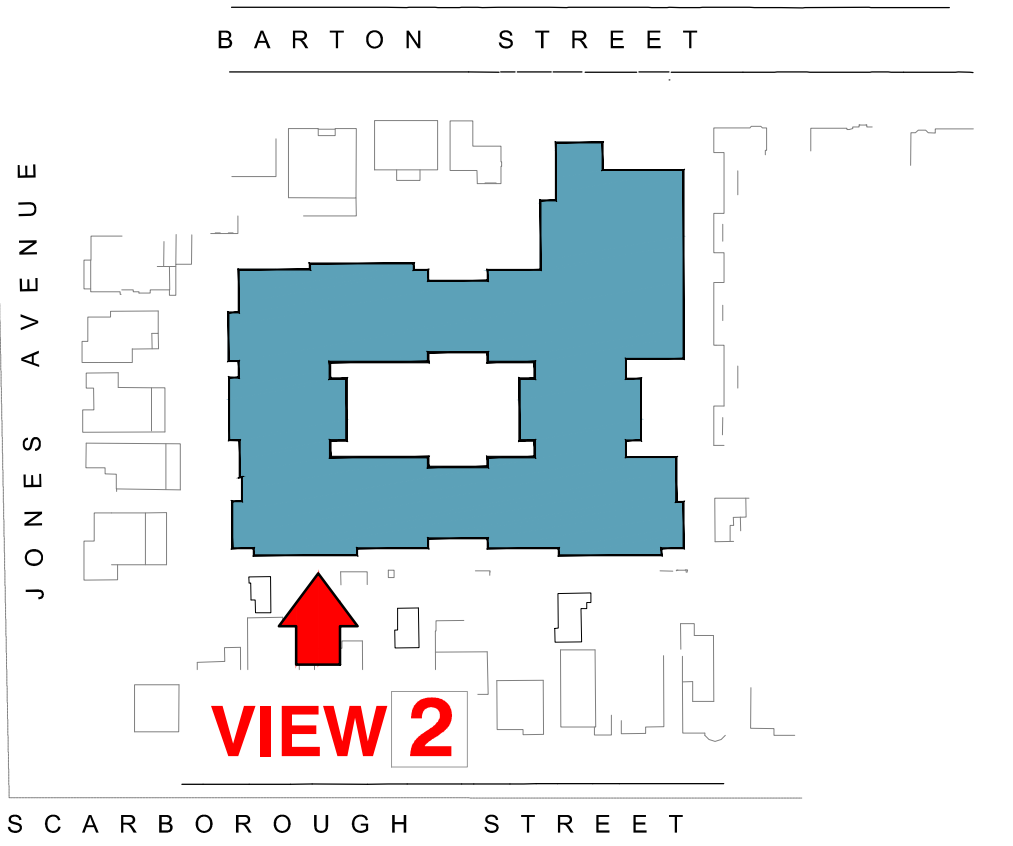
PROPOSED SCHEME, 3 STOREY
Ground Floor - 6m Setback
First Floor - 6m Setback
Second Floor - 6m Setback - NOT VISIBLE



RECTILINEAR SCHEME, 2 STOREY - INFERIOR OUTCOME
Ground Floor - 3m Setback
First Floor - 6m Setback



KEY PLAN 1
PROPOSED SCHEME



KEY PLAN 2
RECTILINEAR SCHEME

VIEW 2

B	Development Application Re-Issue	09.11.2021
A	Development Application Re-Issue	25.08.2021
No.	Amendment	Date

Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
VIEW ANALYSIS - VIEW 2

CENTURION GROUP

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Email: brgroup@brgr.net

Date	AUG 2021	Job No.	Drawing
Scale	NTS		
Drawn			2014 / DA15b
Amendment	B		



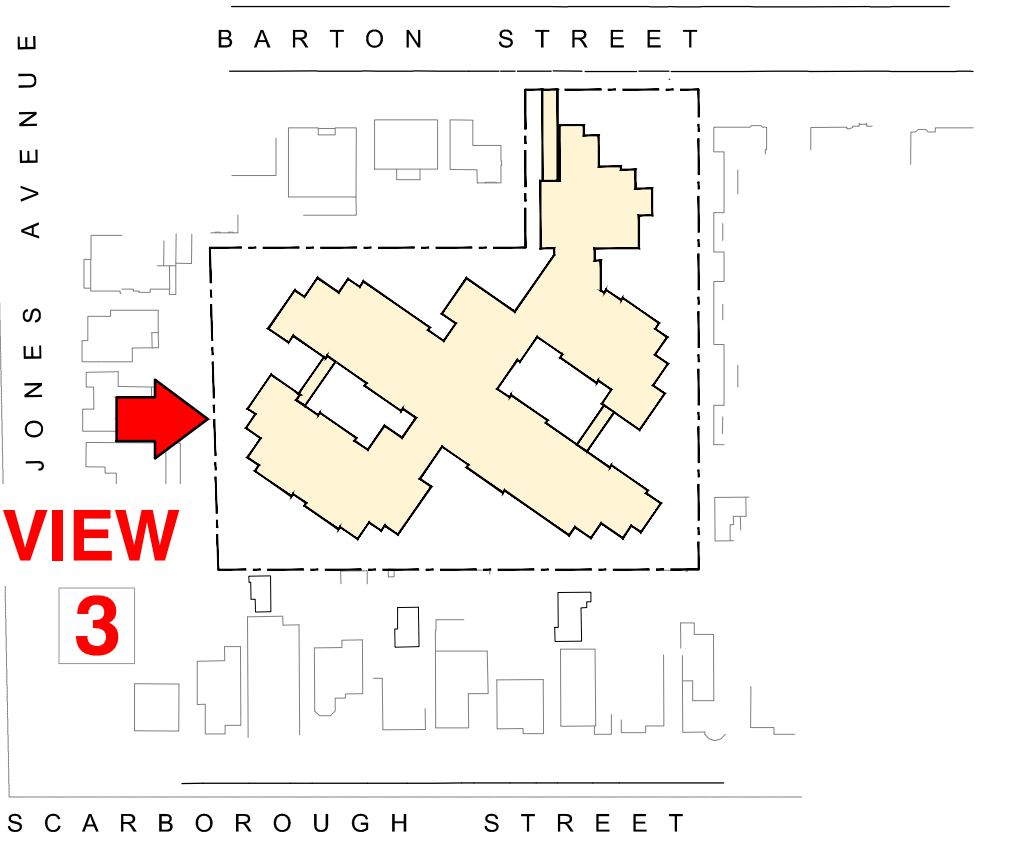
PROPOSED SCHEME, 2 STOREY
Ground Floor - 6m Setback
First Floor - 6m Setback



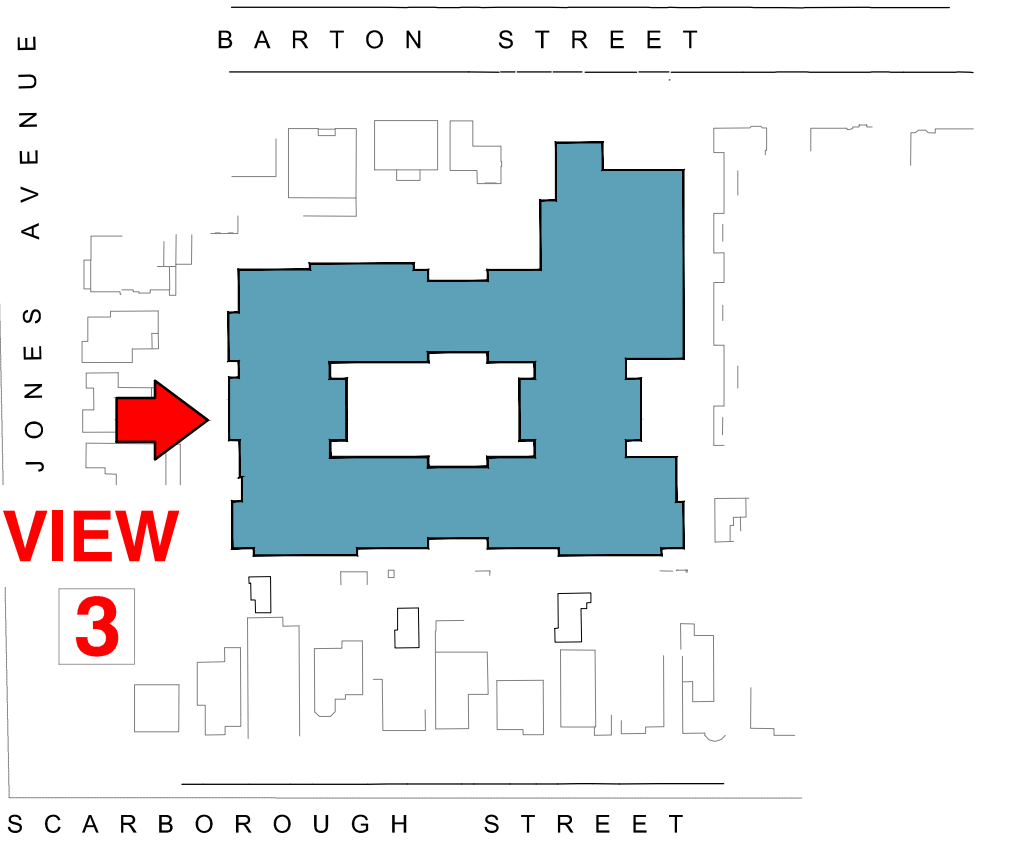
PROPOSED SCHEME, 3 STOREY
Ground Floor - 6m Setback
First Floor - 6m Setback



RECTILINEAR SCHEME, 2 STOREY - INFERIOR OUTCOME
Ground Floor - 3m Setback
First Floor - 6m Setback



KEY PLAN 1
PROPOSED SCHEME



KEY PLAN 2
RECTILINEAR SCHEME

VIEW 3

B	Development Application Re-Issue	09.11.2021
A	Development Application Re-Issue	25.08.2021
No.	Amendment	Date

Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
VIEW ANALYSIS - VIEW 3

CENTURION GROUP

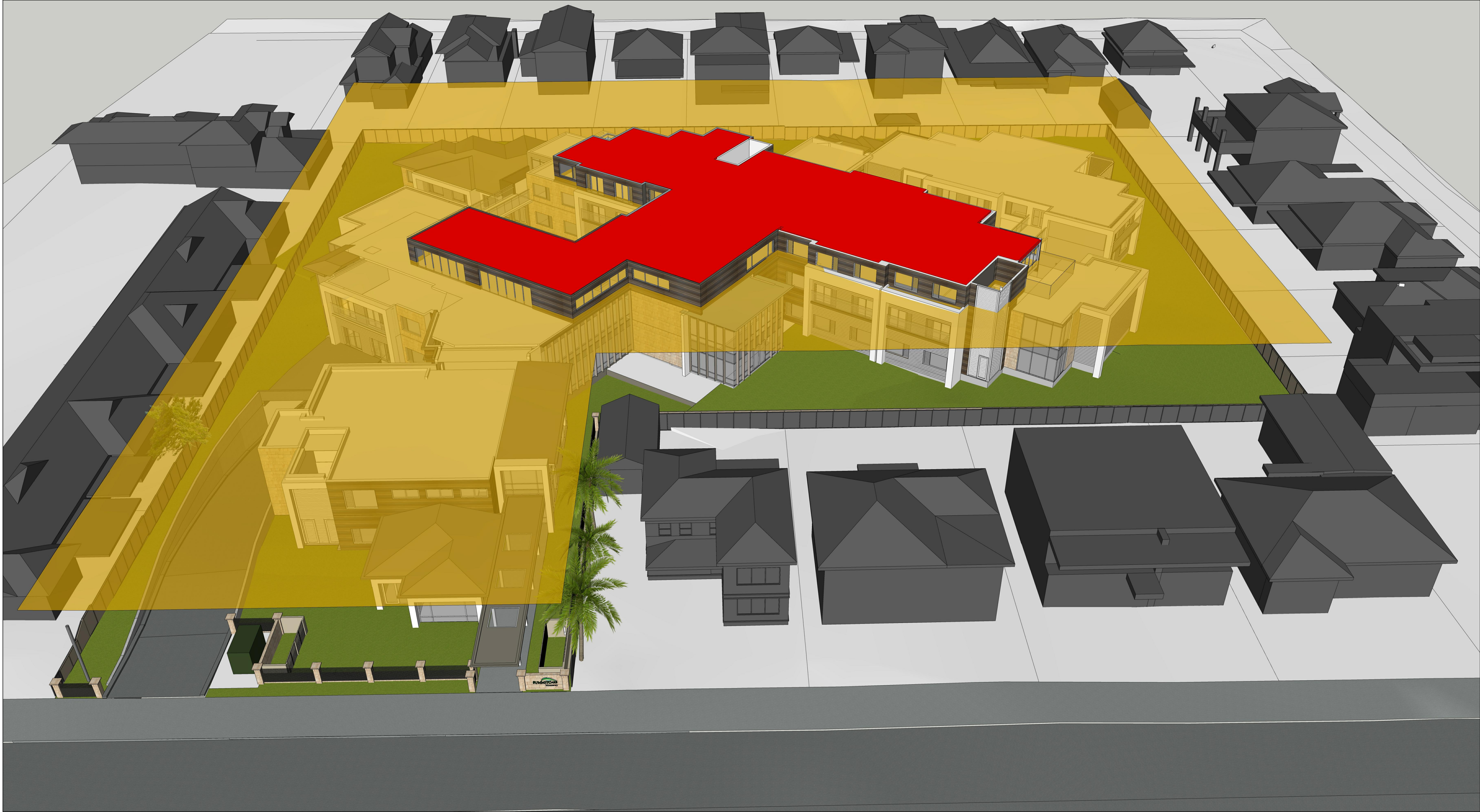
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Email: brgroup@brgr.net

Date	AUG 2021	Job No.	Drawing
Scale	NTS		
Drawn			2014 / DA15c
Amendment	B		



The above graphic is showing the 3D model of the proposed development with the 8m ceiling height control represented by a yellow coloured plane.

C	Development Application Re-Issue	08.11.2021
B	Development Application Re-Issue	25.08.2021
A	Development Application Issue	09.12.2020
No.	Amendment	Date

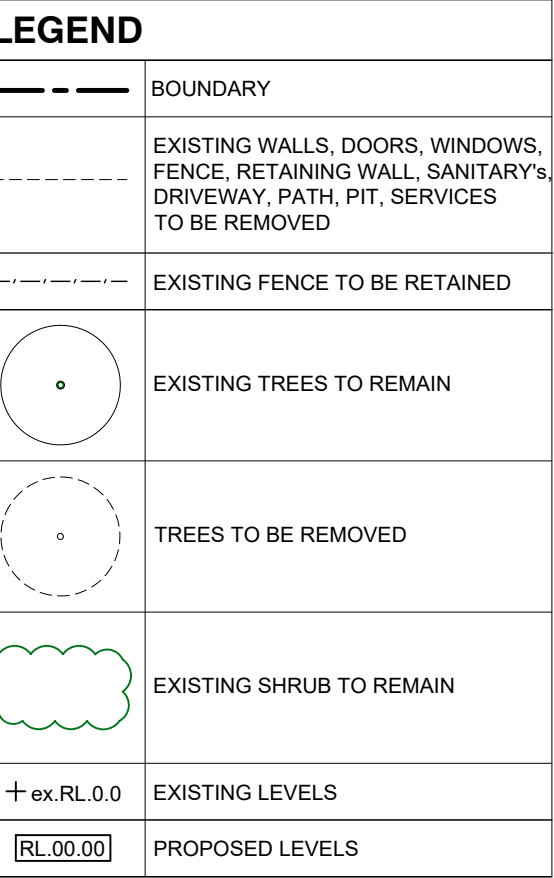
Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
3D Image Showing Built form penetrating
8m Ceiling Height



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AUSTRALIA
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Email: brgroup@brgr.net

Date	JULY 2021	Job No.	Drawing
Scale	NTS @ A1		
Drawn			2014 / DA16
Amendment	C		



SCALE: 1:200

	Development Application Re-Issue	25.08.2021
	Development Application Issue	09.12.2020
10.	Amendment	Date

project
SUMMITCARE - MONTEREY
19 Barton Street, Monterey, N.S.W 2217

DEMOLITION PLAN

CENTURION GROUP

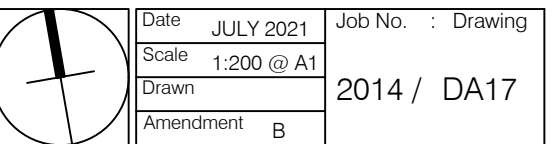
TRUSTED ADVISOR

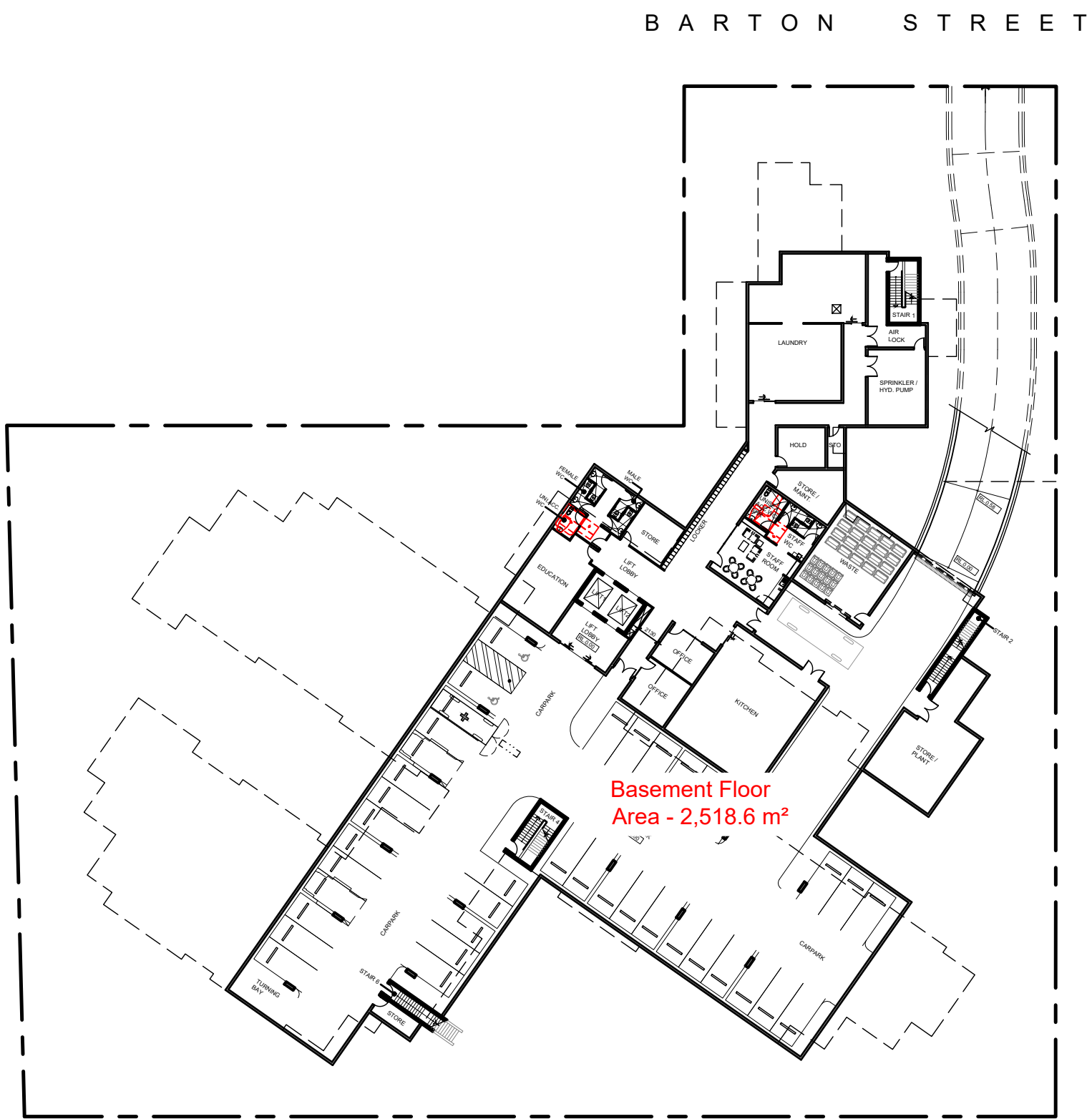


SummitCare
WARMTH. WORTH. WELLBEING.

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architecture, health and aged care planning, project management

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AUSTRALIA
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Fax. (02) 9406 7099
Email : brgroup@brgr.net

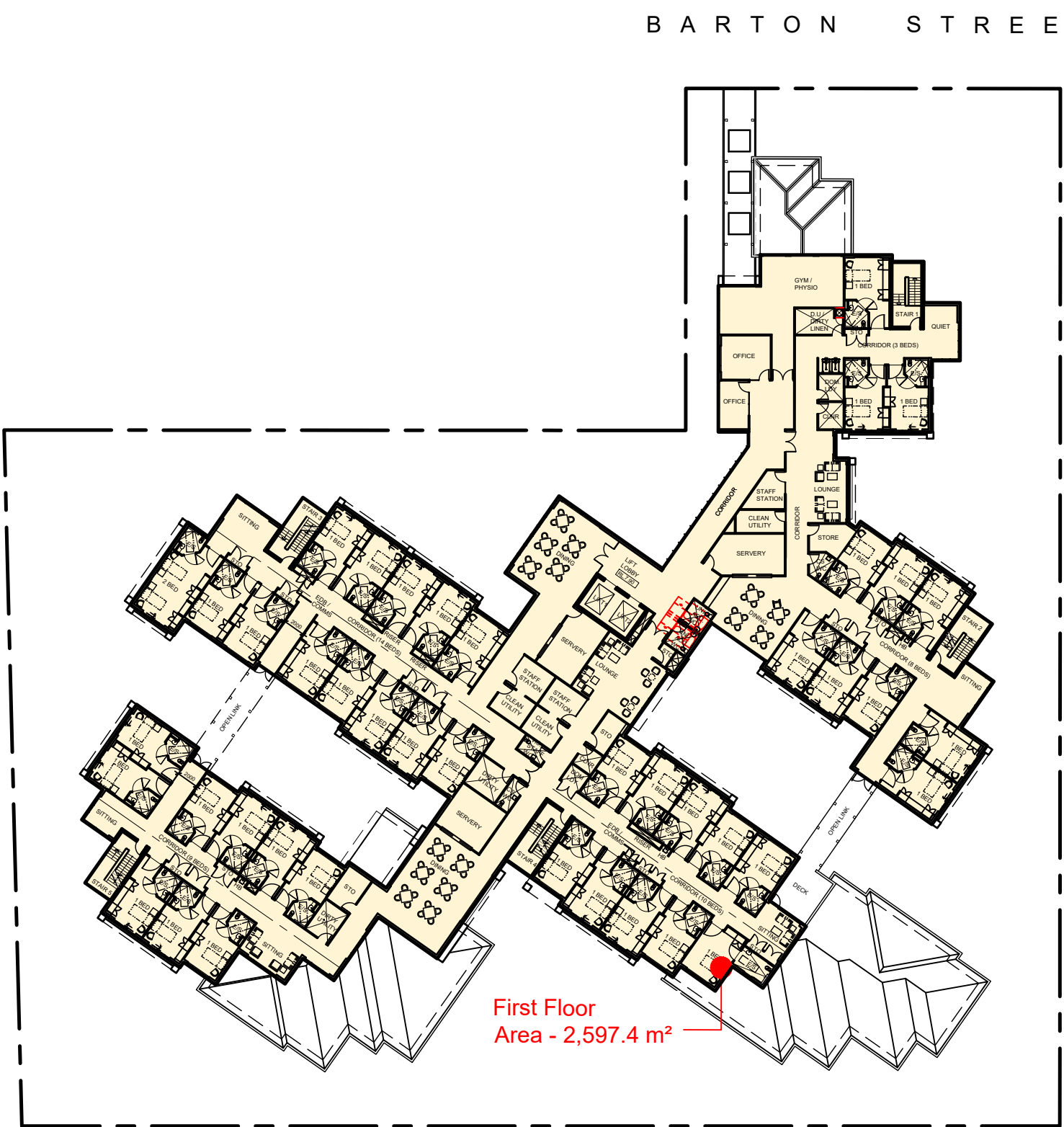




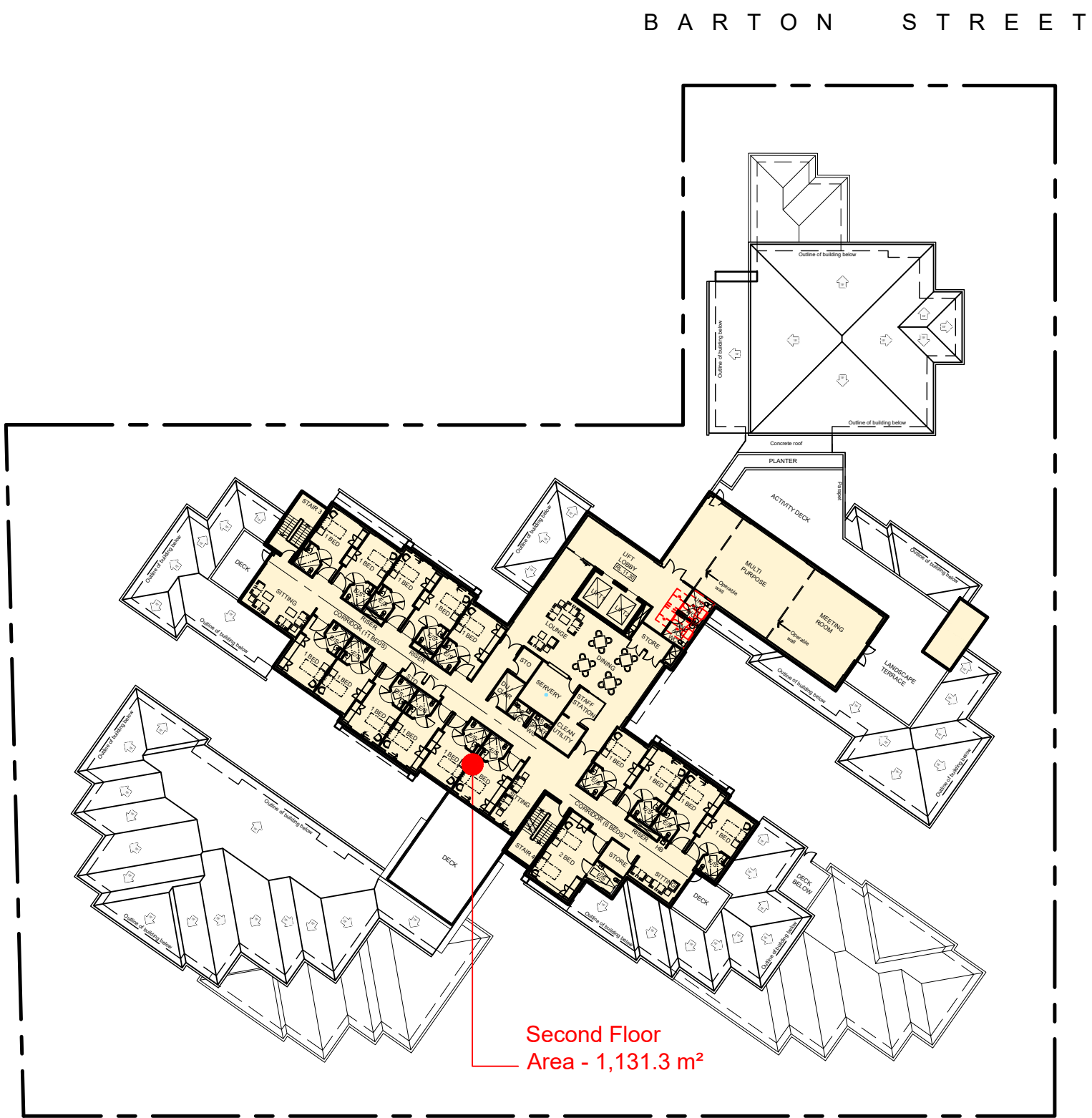
BASEMENT FLOOR PLAN



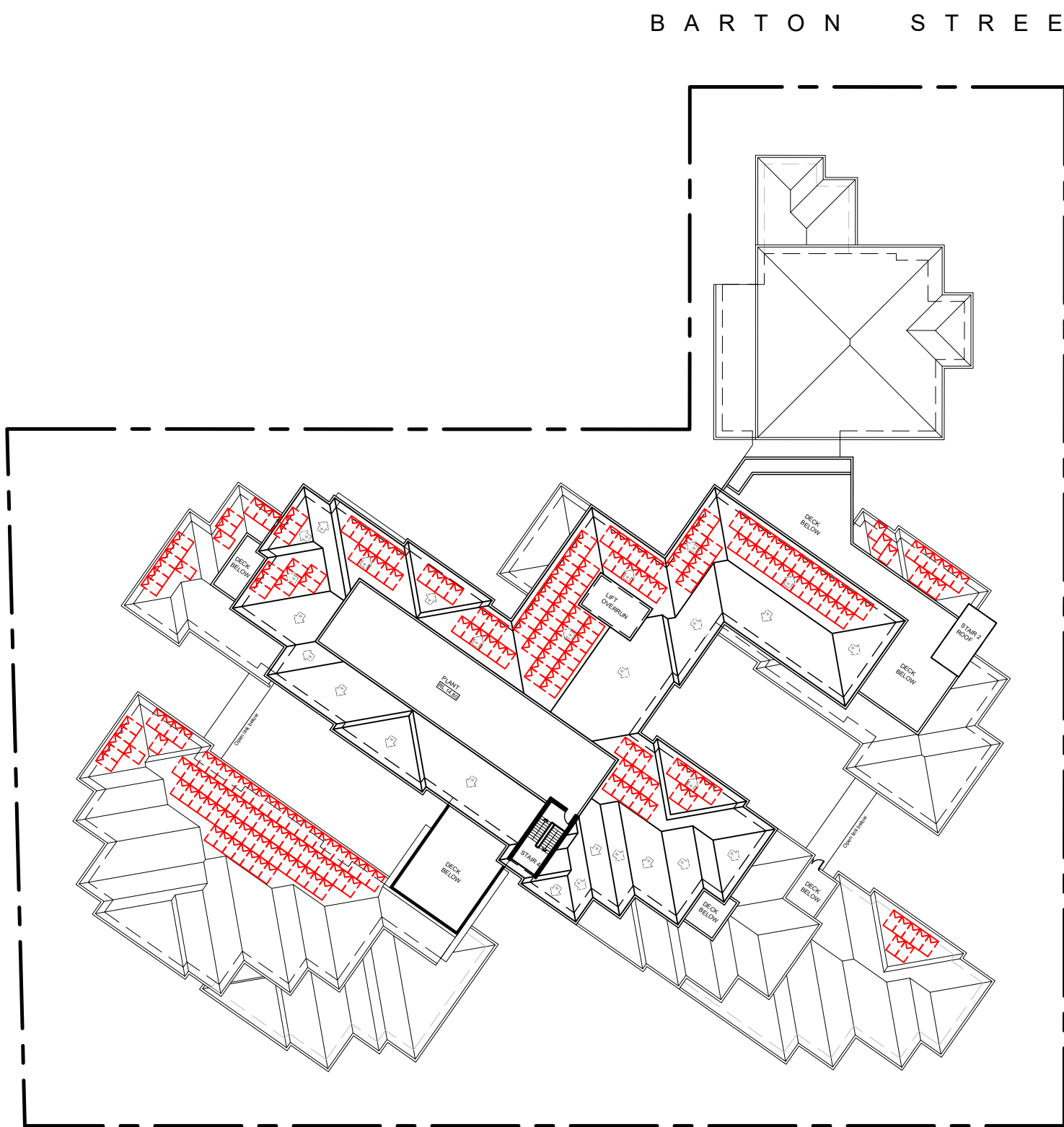
GROUND FLOOR PLAN



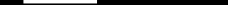
FIRST FLOOR PLAN



SECOND FLOOR PLAN



ROOF PLAN

		
SCALE: 1:500		
C	Development Application Re-Issue	08.11.2021
B	Development Application Re-Issue	25.08.2021
A	Development Application Issue	09.12.2020
No.	Amendment	Date

Project
SUMMITCARE - MONTEREY
119 Barton Street, Monterey, N.S.W 2217

Drawing
GROSS FLOOR AREA PLANS

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Fax: (02) 9406 7009
Email: brgroup@brgr.net

GFA CALCULATION


GROUND FLOOR	3,069.5 m ²
FIRST FLOOR	2,597.4 m ²
SECOND FLOOR	1,131.3 m ²
TOTAL	6,798.2 m ²

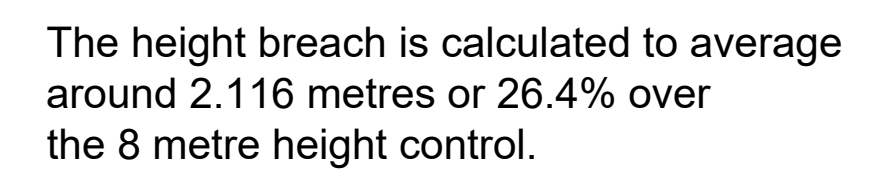
Date	JULY 2021	Job No.	-	Drawing
Scale	1:500 @ A1			
Drawn	SS			2014 / DA18
Amendment	C			

Project
SUMMITCARE - MONTEREY
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	Date	JULY 2021	Job No. : Drawing 2014 / DA18a
	Scale	1:200 @ A1	
	Drawn	SS	
	Amendment	B	



Existing contour line

ex.RL. 3.70 Existing RLs